

**AGENDA
PLANNING AND ZONING MEETING**

March 9, 2023

6:00 P.M.

COUNCIL CHAMBERS

CITY HALL, 200 NORTH DAVID

Meetings can be viewed online at www.casperwy.gov on the Planning Commission web page.

PLANNING AND ZONING POLICY

PUBLIC STATEMENTS

1. Use of Cellular telephones is not permitted, and such telephones shall be turned off or otherwise silenced during the Planning and Zoning Meeting.

2. Speaking to the Planning and Zoning Commission (These guidelines are also posted at the podium in the Council Chambers).
 - Clearly state your name and address.
 - Please keep your remarks pertinent to the issue being considered by the Planning and Zoning Commission.
 - Please do not repeat the same statements that were made by a previous speaker.
 - Please speak to the Planning and Zoning Commission as you would like to be spoken to.
 - Please do not address Applicants or other audience members directly.
 - Please make your comments at the podium and directed to the Planning and Zoning Commission.

3. The City of Casper Planning and Zoning Commission is a volunteer body composed of members of the Casper Community, and appointed by the Casper City Council. The Commission acts as a quasi-judicial panel, making final decisions on some specific items, and recommendations to the City Council on others as dictated by law. The Commission may only consider evidence about any case as it relates to existing law. The Commission cannot make or change planning or zoning laws, regulations, policies or guidelines.

AGENDA

I. ELECTION OF OFFICERS

II. CALL TO ORDER

III. MINUTES: Consideration of P & Z Commission Minutes from December 8, 2022

IV. PUBLIC HEARINGS:

CUP-351-2023 – Request for a Conditional Use Permit to convert an existing detached garage, located at 1515 S. Elm Street, into an accessory dwelling unit. The current zoning of the property is R-2 (One Unit Residential), and is more particularly described as Lot 1, Block 3 of the Community Park Addition. Applicants: Pat and Vicki Hughes.

SUB-347-2023 – Request for plat approval creating the Highland Park Tennis Complex Addition to the City of Casper, comprised of a portion of the City of Casper Highland Park Addition and an unplatted parcel located in the SE1/4NE1/4 of Section 10, T.33N., R79W., 6th P.M. Natrona County, Wyoming. The proposed Highland Park Tennis Complex Addition encompasses 4.57-acres, more or less, and is located generally south and west of the intersection of South Beverly Street and East 4th Street. Applicant: Natrona County School District.

ZOC-355-2023 – Request for a vacation and zone change of Lot 1 Majestic Mountain Addition, from Park Historic (PH) to General Business (C-2). Said property is located immediately east of the Paradise Valley Pool and north of the Iris Street cul-de-sac. Applicant: Pat Sullivan/Half Barrel Inc.

SUB-356-2023 & **ZOC-357-2023** – Request for approval of a plat creating the Lukasiewicz Subdivision, and zoning said subdivision as AG (Urban Agriculture). The proposed subdivision consists of an unplatted parcel located in the NW1/4NW1/4 of Section 23, T.33N., R80W., 6th PM, Natrona County, Wyoming; and a portion of lots 22 and 23 of the Paradise Valley Addition. Said property encompasses 4.6-acres, more or less, and will consist of two (2) Tracts. Applicant: Del Lukasiewicz.

SP-358-2023 – Site plan review for the construction of a 130,720 square foot, indoor sports facility, located directly north of the Ford Wyoming Center on portions of Lot 3 of North Platte River Park No. 2. Applicant: WYO Complex.

V. SPECIAL ISSUES:

Committee Assignments

- Old Yellowstone District Advisory Committee
- Historic Preservation Commission

VI. COMMUNICATIONS:

A. Commission

B. Community Development Director

C. Council Liaison

D. OYD and Historic Preservation Commission Liaisons

1) **Historic Preservation Commission Meeting**

2) **Old Yellowstone Advisory Committee Minutes** – (*November 28, 2022 Minutes*)

E. Other Communications

VII. ADJOURNMENT – *Next Meeting of the Planning and Zoning Commission is scheduled for Thursday, April 13, 2023, at 6:00 P.M.*

**CASPER PLANNING AND ZONING MEETING
THURSDAY December 8, 2022
CITY COUNCIL CHAMBERS**

These minutes are a summary of the meeting. For full details view online at www.casperwy.gov on the Meetings and Agendas web page. The Planning and Zoning Commission held a meeting at 6:00 p.m., on Thursday December 8, 2022, in the Council Chambers, City Hall, 200 North David Street, Casper, Wyoming.

Members Present: Terry Wingerter
Travis Van Hecke
Kenneth Bates
Vickery Fales-Hall
Michael McIntosh
Joe Hutchison

Absent Members: Maribeth Plocek

Others present: Craig Collins, City Planner
Barb Santmire, Administrative Assistant III
Wallace Trembath, Deputy City Attorney
Bruce Knell, Council Liaison
Liz Becher, Community Development Director

I. MINUTES OF THE PREVIOUS MEETING

Chairperson Bates asked if there were additions or corrections to the minutes of the November 10, 2022 Planning & Zoning Commission meeting.

Chairperson Bates called for a motion to approve the minutes of the November 10, 2022 Planning & Zoning Commission meeting.

Mr. Wingerter made a motion to approve the minutes of the November 10 meeting. The motion was seconded by Mr. McIntosh.

All those present voted aye. Motion carried.

II. PUBLIC HEARINGS

Our first case this evening:

ZOC-310-2022 – Request for zone change for three (3) lots on South Washington from R-2 (One Unit Residential) to R-3 (One to Four Unit Residential). The applicants are Tim and Cindy Stirrett.

Craig Collins, City Planner presented the staff report and entered 6 exhibits into the record for this case. It was noted that one (1) letter of opposition from Lori Andrews had been received and was provided to the Commission in hard copy.

Chairperson Bates opened the public hearing and asked if anyone on the Commission has any preliminary questions for the staff.

Chairperson Bates asked if there are other neighborhoods that are mostly R-2 with one place that's and R-3?

Mr. Collins replied that having a R-3 in the middle of a R-2 is not common, however, in this instance there are some nearby properties that are zoned for multi-family and commercial immediately adjacent to and in the neighborhood.

Mr. Wingerter stated there is an area across the street and over two blocks that is R-2, but there are a couple of duplexes already there. He asked if they had to get special zone change?

Mr. Collins indicated they could have pre-dated the zoning map, they could be considered non-conforming but legal and allowed to stay there, they also could have a conditional use permit or the property could be zoned appropriately.

Chairperson Bates asked for the person representing the case to come forward and explain the application.

Mr. Tim Stirrett, 2305 S Poplar, spoke as representative for this case. Relevant points included:

- The lots are wide enough for the duplexes to sit front facing,
- There will be a 5' set back on each side of each unit along with privacy fencing and landscaping,
- There will be a one car garage and additional space for a 2nd vehicle to be parked off-street,
- The applicant is a general contractor who will be building the units himself with an anticipated start date of Spring 2023,
- A sidewalk will be installed as part of the project.

Chairperson Bates asked if there was anyone in the audience wishing to speak in favor of or opposition to this case?

Yuri Hardt, 1216 S Washington Street, spoke in opposition to the case. Mr. Hardt stated he was concerned that the building of duplexes will negatively impact his property value.

Sara Chung, 1221 S Washington Street, spoke in opposition to the case. Ms. Chung stated concerns about property maintenance, indicating that Mr. Stirrett has not maintained the property as vacant lots during the 4 years she has owned her property and she is concerned the rental properties will reflect this same level of negligence.

Angela Frechea, 1234 S Washington Street, spoke in opposition stating one of her concerns is about parking. She indicated parking is already an issue with most families having, 2-4 vehicles along with some boats and campers. She further asserted that when the church at the end of the block has events, parking becomes even more difficult. She expressed concern that bringing in these 3 “apartments” will create an even larger issue. She stated she does not feel multi-family structures will benefit the area.

John Bell, 1234 S Melrose, spoke in opposition to the case. Mr. Bell owns the vacant lot next to the lots in question. His concern was about location of garbage cans for the units and about elevation of the lot causing drainage issues in the neighborhood. He is concerned that the building of multi-family homes will bring down the value of his property.

Kasey Miller, 1224 S Washington Street, spoke in opposition to the case. Mr. Miller expressed concern about danger to children in the neighborhood from increased traffic and renters. Mr. Miller is also concerned that, if the zone change is approved, the applicant could then change the type of dwelling they are building and increase the number of people being added to the neighborhood even more.

Deputy City Attorney Trembath cautioned the Commission that their task is to focus on the zoning change request and whether or not it is compatible with the neighborhood. The building plan will focus on garbage cans and parking, etc. The decision can only be based on zoning factors.

Mr. Stirrett was given the opportunity to speak again and addressed the neighbors concerns and expressed his desire to make a positive impact on the neighborhood.

There being no others to speak, Chairperson Bates closed the public hearing and entertained a motion to approve, deny, table, or postpone to a date certain **ZOC-310-2022** regarding the request for zone change for three (3) lots on South Washington from R-2 (One Unit Residential) to R-3 (One to Four Unit Residential).

Mr. McIntosh made a motion to approve case **ZOC-310-2022** to be forwarded to Council for consideration. The motion was seconded by Mr. Wingerter.

All those present voted aye. Motion carried.

III. SPECIAL ISSUES:

Craig Collins, City Planner presented a Recommendation on Proposed Reduction in the Minimum Setback Requirements in the PH (Park Historic) Zoning District. The recommendation has been brought forth based on the site plan for the proposed sports complex that will be located near the events center. Options would be to rezone that particular area or to reduce the PH (Park Historic) setback requirement from 30’ to 15’.

Chairperson Bates entertained a motion to approve or deny a recommendation to reduce the minimum setback requirements in the PH (Park Historic) Zoning District from 30' to 15'.

Mr. Wingerter made a motion to approve the recommendation. The motion was seconded by Mr. McIntosh.

All those present voted aye. Motion carried.

IV. COMMUNICATIONS:

A. Commission:

Mr. McIntosh reported that a Metro Task Force has been formed and they will be holding monthly meetings. The first focus, in January, will be on policies and procedures.

Mr. Wingerter asked if the demolition of the YMCA is to include the entire building. Mr. Collins stated he was unsure of the status at this time, but that the original proposal was for the entire building.

Mr. Wingerter asked if there was an update on the new dog park that was started a few years ago. No one had any update on the status.

Chairperson Bates congratulated Bruce Knell on his election to Mayor.

B. Community Development Director:

There were none.

C. Council Liaison:

Bruce Knell indicated that, with his new duties as Mayor, he would be stepping down as Council liaison to the Commission. Mr. Steve Cathey has expressed interest in taking the position and will be attending meetings starting in January.

D. OYD and Historic Preservation Commission Liaisons:

OYD – Mr. McIntosh reported that the Advisory Committee has met with Jeffree Star, the new owner of the Hall on Ash, and that Mr. Star has exciting plans to create a retail space for his cosmetics line and his yak meat business.

HPC – There were none.

E. Other Communications:

There were none.

V. **ADJOURNMENT:**

Chairperson Bates adjourned the meeting at 7:35pm.

Chairperson

Secretary

March 3, 2023

MEMO TO: Ken Bates, Chairperson
Members of the Planning and Zoning Commission

FROM: Liz Becher, Community Development Director
Craig Collins, AICP, City Planner

SUBJECT: **CUP-351-2023** – Request for a Conditional Use Permit to convert an existing detached garage, located at 1515 S. Elm Street, into an accessory dwelling unit. The current zoning of the property is R-2 (One Unit Residential), and is more particularly described as Lot 1, Block 3 of the Community Park Addition. Applicants: Pat and Vicki Hughes.

Recommendation:

Staff recommends that the Planning and Zoning Commission continue the public hearing to the April 13, 2023 regular meeting.

Summary:

Pat and Vicki Hughes applied for a Conditional Use Permit to allow for an accessory dwelling unit in an R-2 (One Unit Residential) zoning district, located at 1515 S. Elm Street. During staff's review of the request it was determined that the proposal also requires the approval of an additional Conditional Use Permit for walls in excess of twelve (12) feet in height. In that the public notice that was mailed to surrounding property owners didn't include the request for an oversized building, staff recommends that the case be continued for a month to allow for the necessary public notification to occur.



City of Casper Planning Division

Conditional Use Permit Application

OWNER'S INFORMATION:

NAME: PAT & VICKI HUGHES
MAILING ADDRESS: 1515 S. ELM ST, CASPER, WY 82601
TELEPHONE: 307-259-4400 EMAIL: PAT.HUGHES@GMAIL.COM

LOCATION OF REQUEST:

ADDRESS: 1515 S ELM ST
LEGAL DESCRIPTION: LOT 1, BLK 3, COMMUNITY PARK ADDITION
Number of Lots: 1 Size of Lots: 57± x 140
Current Zoning: R-2 Current Use: HOME WITH DETACHED GARAGE
Purpose for which the property is proposed to be used: REMOVE EXISTING ROOF ON GARAGE AND REPLACE COLD STORAGE WITH APARTMENT
Prior restrictions placed on the property: R-2 PERMITTED USES - SINGLE FAMILY, DUPLEX, OR TWIN HOME
Floor area square footage: 660 SF Number of Occupants or Employees: 2
Building Footprint: 660 SF Number of off-street parking spaces: 5

A PLOT PLAN (Simple Site Plan) IS REQUIRED, SHOWING:

(WHERE APPLICABLE)

- | | | |
|-------------------------------|--------------------------------|-------------------------------------|
| lot size and dimensions | size and location of buildings | off-street parking spaces |
| routes for ingress and egress | internal traffic control | fencing, screening, and landscaping |
| signs and lighting | setback distances | |

The following owner's signature, or agent, signifies that all information on the application is accurate and correct to the best of the owner's knowledge, and that the owner has thoroughly read and understands all application information and requirements.

SIGNATURE OF PROPERTY OWNER: Pat Hughes Vicki Hughes
DATE: 1/16/2023

\$600-

SUBMIT TO:

Community Development Department
Planning Division
200 N David, RM 203
Casper, WY 82601
Phone: 307-235-8241
E-mail: ccollins@casperwy.gov

A COMPLETE SUBMITTAL MUST INCLUDE:

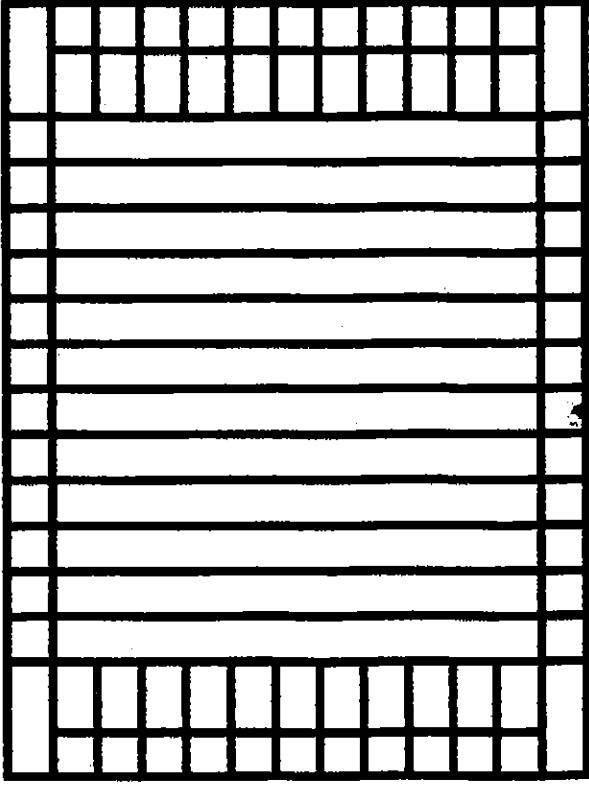
- COMPLETED APPLICATION, INCLUDING ORIGINAL SIGNATURES FROM OWNER
- PROOF OF OWNERSHIP
- \$600 APPLICATION FEE (NON-REFUNDABLE)
- PLOT PLAN (Simple Site Plan) OF THE PROPERTY

FOR OFFICE USE ONLY:

DATE SUBMITTED:

REC'D BY: _____

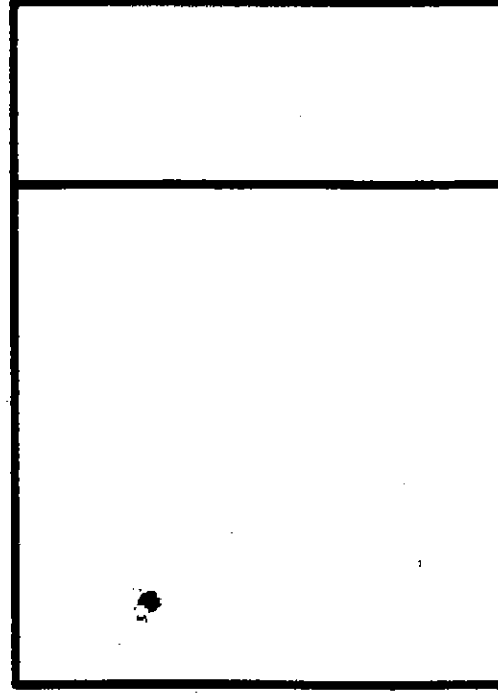
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26.0

Roof Plan

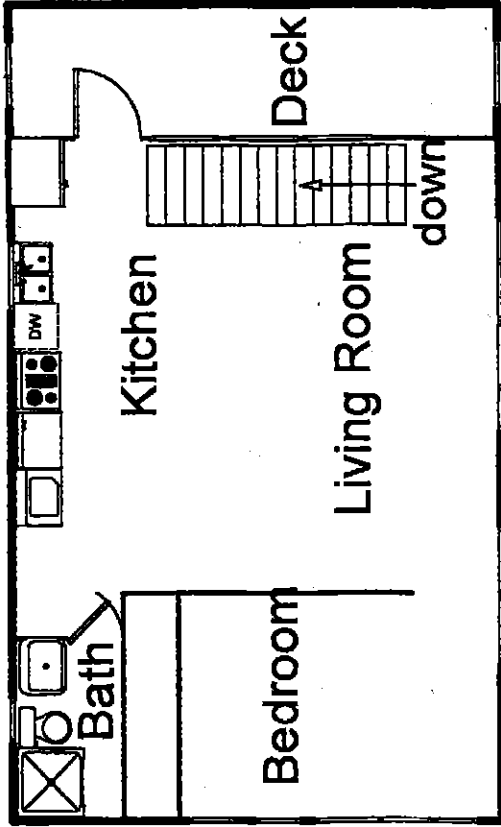
22.0'



22.0' 8.0'

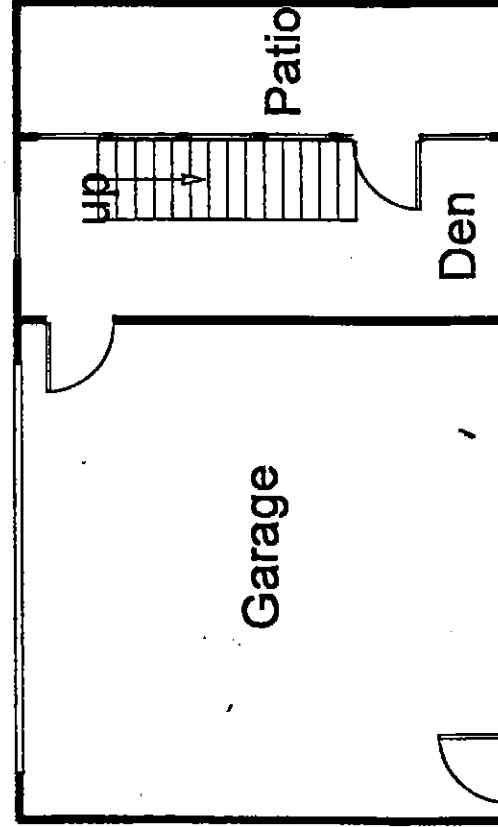
Existing Foundation

PAT & VICKI HUGHES
1515 SOUTH ELM STREET



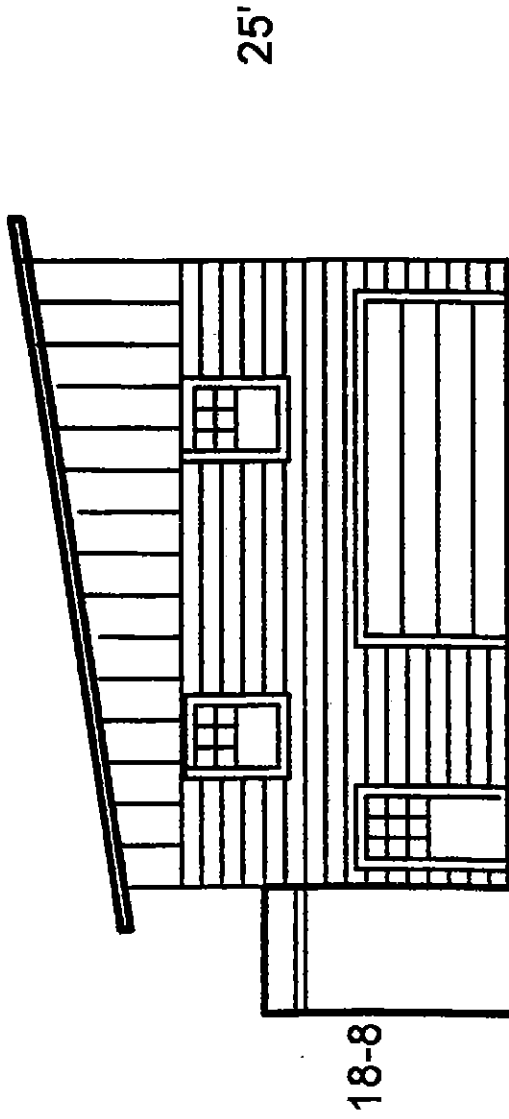
Second Floor

22.0'

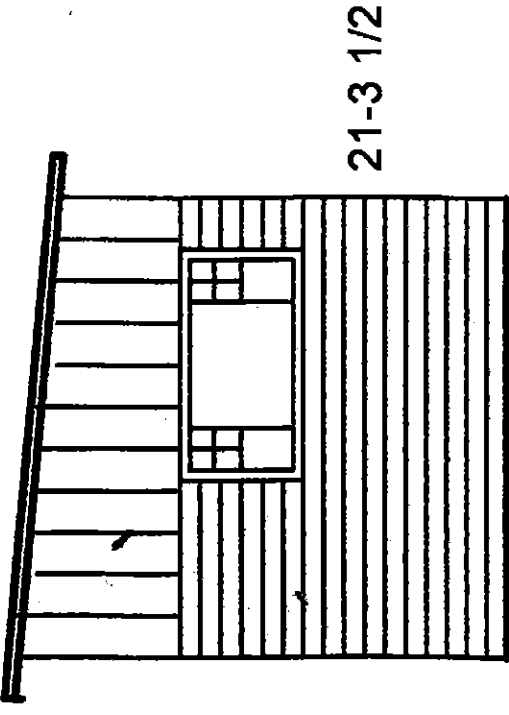


22.0' 8.0' 6.0'

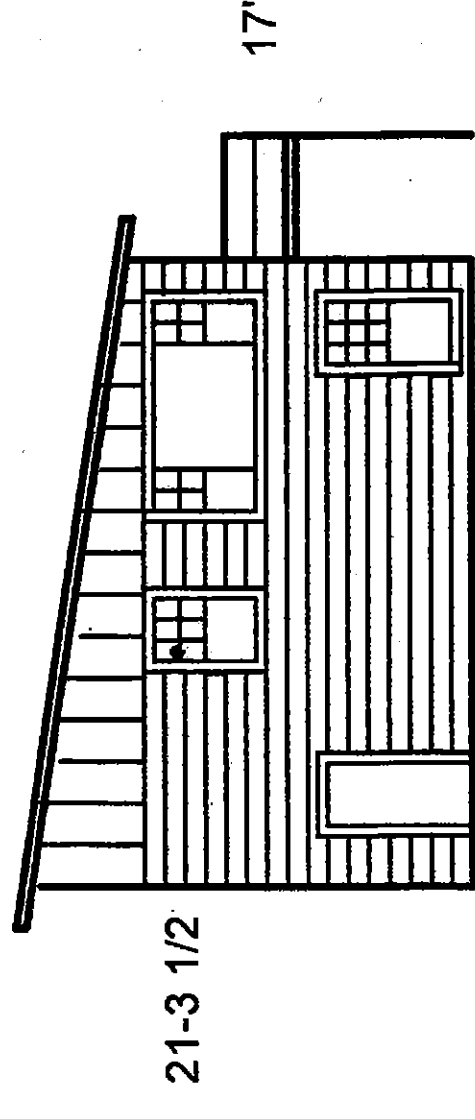
First Floor



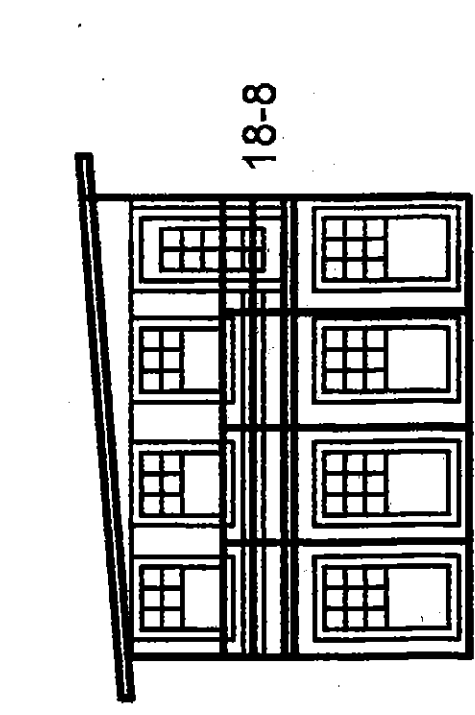
EAST



NORTH



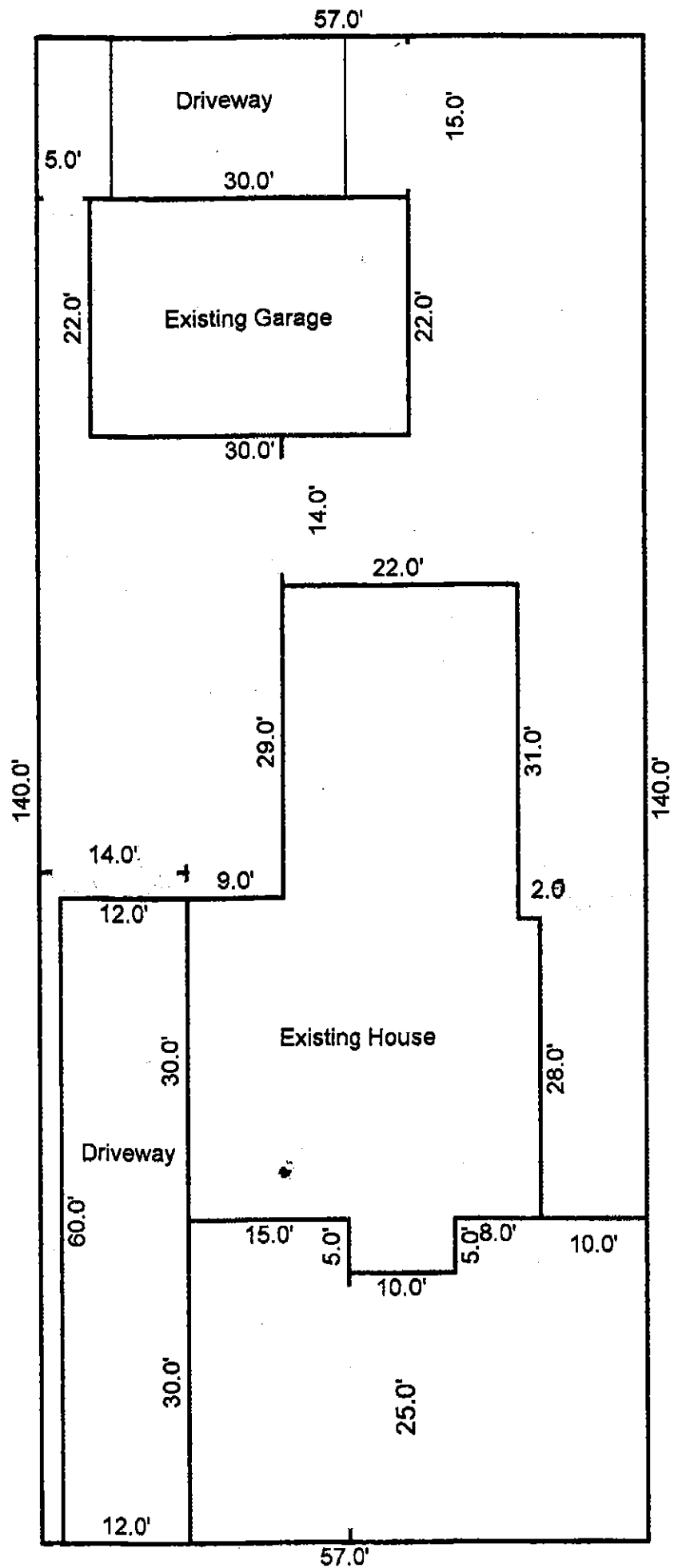
WEST



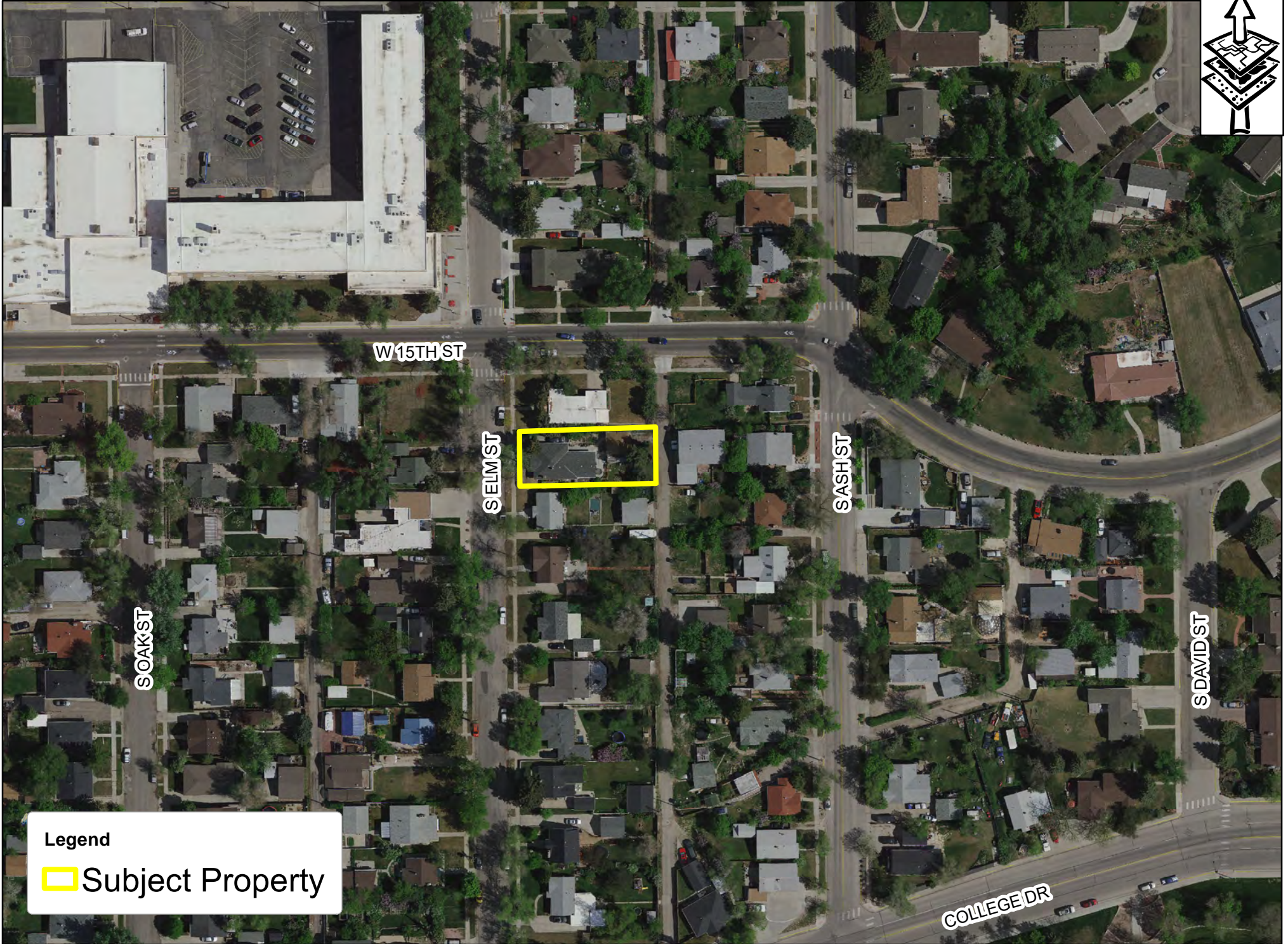
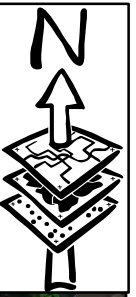
SOUTH

PAT & VICKI HUGHES
1515 SOUTH ELM STREET


PAT & VICKI HUGHES
1515 SOUTH ELM STREET



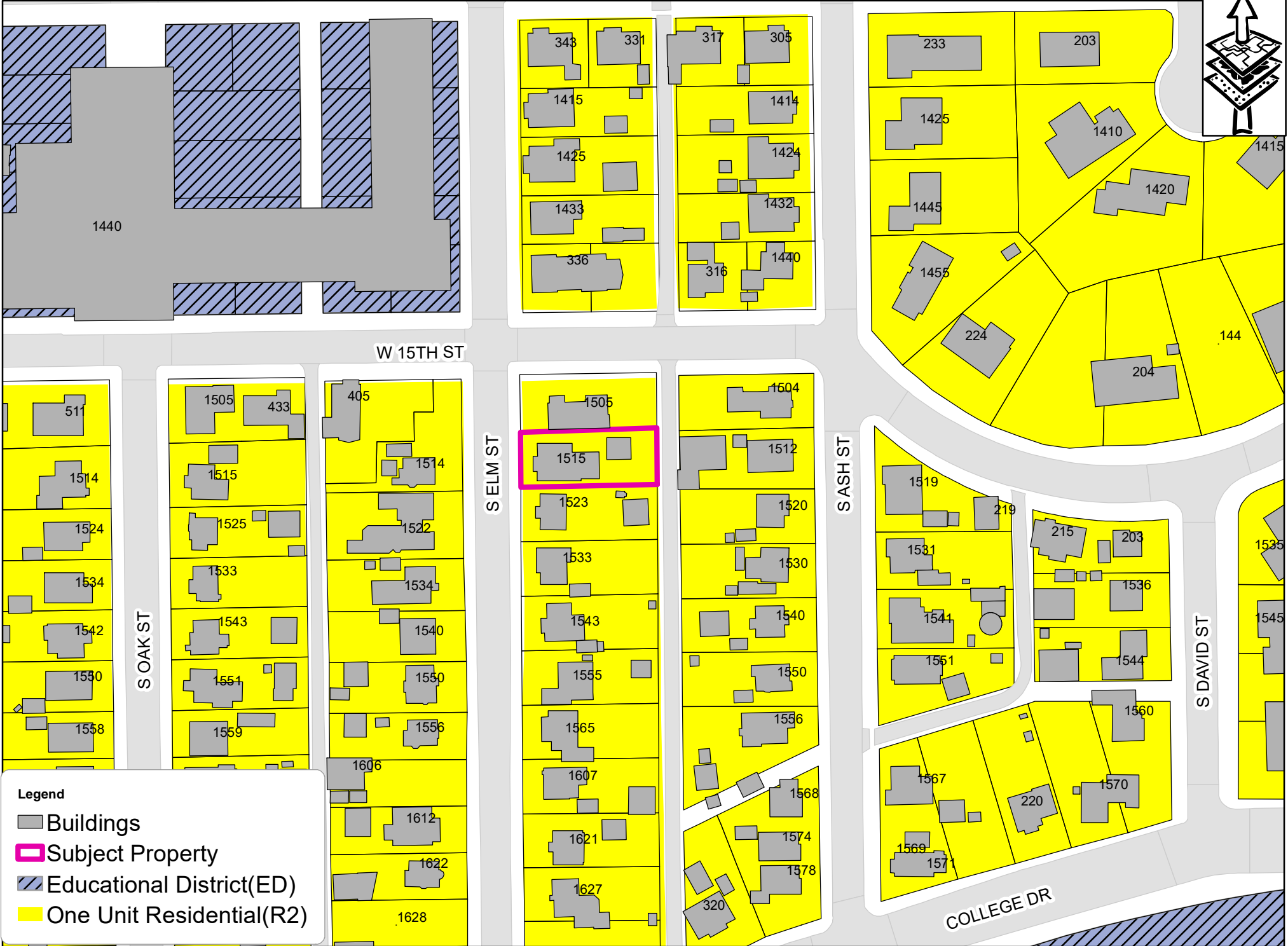
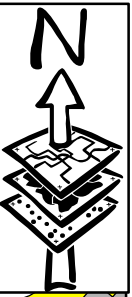
Proposed Conditional Use Permit 1515 S Elm



Legend

 Subject Property

Proposed Conditional Use Permit 1515 S Elm



Legend

- Buildings
- Subject Property
- Educational District(ED)
- One Unit Residential(R2)

March 3, 2023

MEMO TO: Ken Bates, Chairperson
Members of the Planning and Zoning Commission

FROM: Liz Becher, Community Development Director
Craig Collins, AICP, City Planner

SUBJECT: **SUB-347-2023** – Request for plat approval creating the Highland Park Tennis Complex Addition to the City of Casper, comprised of a portion of the City of Casper Highland Park Addition and an unplatted parcel located in the SE1/4NE1/4 of Section 10, T.33N., R79W., 6th P.M. Natrona County, Wyoming. The proposed Highland Park Tennis Complex Addition encompasses 4.57-acres, more or less, and is located generally south and west of the intersection of South Beverly Street and East 4th Street. Applicant: Natrona County School District.

Recommendation:

If, after hearing public testimony and considering the facts of the case, the Planning and Zoning Commission finds that the proposed plat meets the minimum requirements of the Casper Municipal Code, staff recommends approval with a “do pass” recommendation to the City Council.

Code Compliance:

Staff has completed all public notice requirements of Section 16.24 of the Casper Municipal Code pertaining to replats, including notification of property owners within 300 feet by first class mail, posting a sign on the property, and publishing legal notice in the Casper Star-Tribune. **At the time that the staff report was prepared staff had not received any public comments.**

Applicable City Codes and Adopted Policies/Plans

1. The Planning and Zoning Commission’s decision with regard to the plat is a recommendation to Council. With an approval, a “do-pass” recommendation will be forwarded to Council, and with a denial, a “do-not-pass” recommendation will be forwarded.
2. The property in question is zoned PH (Park Historic) and the proposed expansion of the Tennis Complex is a permitted use.
3. There is no minimum lot size requirement in the PH (Park Historic) zoning district.

Summary:

The Natrona County School District has applied for plat approval to create the proposed Highland Park Tennis Complex Addition, comprising 4.57-acres, more or less, located generally south and west of the intersection of South Beverly Street and East 4th Street. The property currently consists of a portion of the Casper Highland Park Addition, as well as an unplatted parcel. The City of Casper recently transferred the property to the School District in 2022 for the development of an expanded tennis complex. The plat is creating a single lot.



City of Casper Planning Division

Plat/Subdivision Application

OWNER'S INFORMATION:

NAME: Natrona County School District
ADDRESS: 970 N. Glenn Road, Casper, WY 82601
TELEPHONE: 307-253-5200 EMAIL: communications@mynscsd.org

OWNER'S AUTHORIZED REPRESENTATIVE:

NAME: CEPI
ADDRESS: 6080 Enterprise Drive, Casper, WY 82609
TELEPHONE: 307-266-4346 EMAIL: billf@cepi-casper.com

APPLYING FOR (check one): FINAL PLAT REPLAT MINOR BOUNDARY ADJUSTMENT

NAME OF SUBDIVISION: Highland Park Tennis Complex Addition
LEGAL DESCRIPTION OF LAND: Portion of SE1/4NE1/4 Section 10, T.33N., R.79W.
City of Casper

COMMON ADDRESS OR LOCATIONAL DESCRIPTION: Highland Park

CURRENT LAND USE: Park

TOTAL ACREAGE: 4.57 acres/sq ft
NUMBER OF LOTS: 1 (Minor Boundary Adjustment can not exceed 2 lots)
SIZE OF LARGEST LOT: 4.57 SIZE OF SMALLEST LOT: N/A
CURRENT ZONING: PH PROPOSED ZONING: PH

The following owner's signature, or agent, signifies that all information on the application is accurate and correct to the best of the owner's knowledge, and that the owner has thoroughly read and understands all application information and requirements.

SIGNATURE OF PROPERTY OWNER: [Signature]
DATE: 1/12/2023

SUBMIT TO:

Community Development Department
Planning Division
200 N David, RM 203
Casper, WY 82601
Phone: 307-235-8241
E-mail: ccollins@casperwy.gov

A COMPLETE SUBMITTAL MUST INCLUDE:

- COMPLETED APPLICATION, INCLUDING ORIGINAL SIGNATURES OF PROPERTY OWNERS
- PROOF OF OWNERSHIP
- PDF (11"x17" SCALE) OF THE PLAT (Full-Sized Hard Copies MAY Also be Required)
- ARCGIS-COMPATIBLE SHAPERFILE SHOWING LOTS, BLOCKS, STREETS, ETC.
- \$1,200 (25 LOTS OR FEWER); \$1,800 (26 Lots or more); (\$200 FOR MINOR BOUNDARY ADJUSTMENT); (Preliminary Plat \$1,000). APPLICATION FEE (NON-REFUNDABLE)

FOR OFFICE USE ONLY:

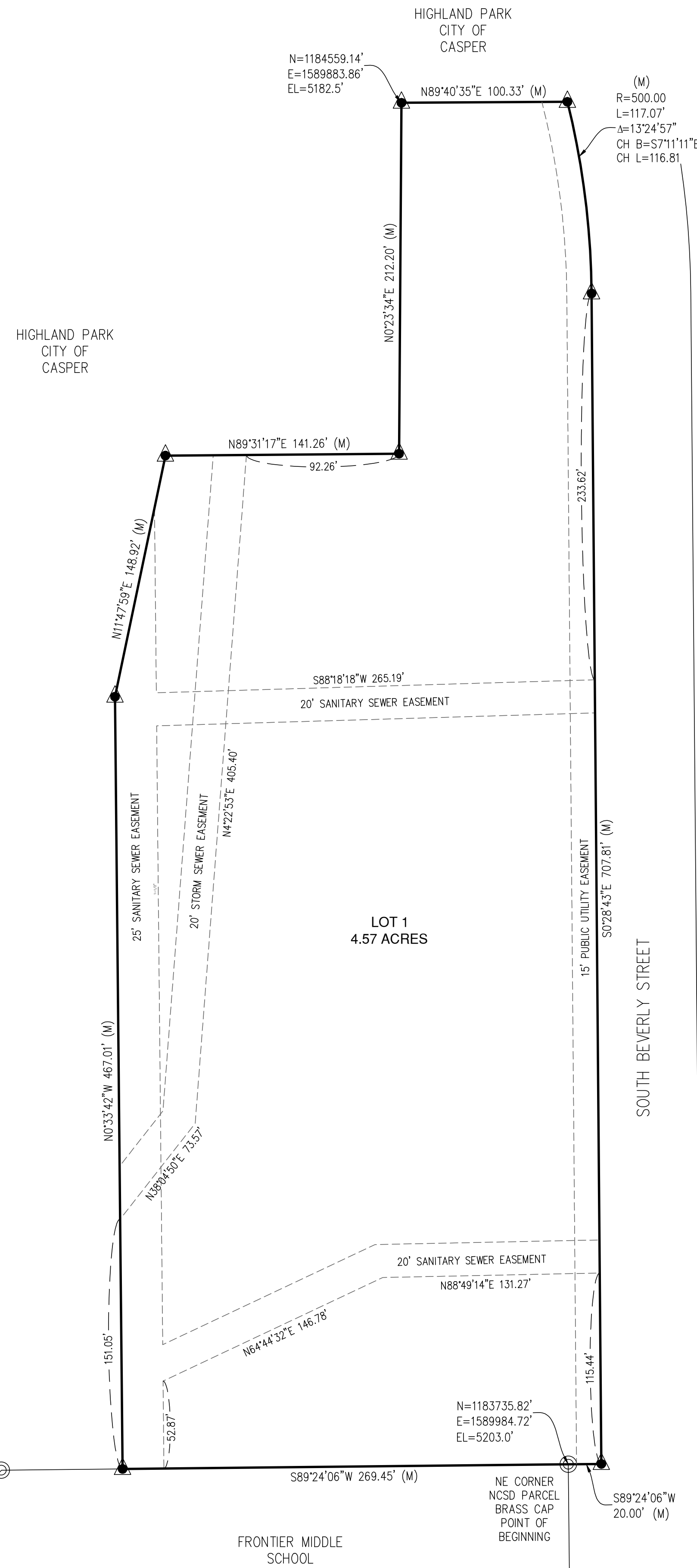
DATE SUBMITTED:

REC'D BY: _____

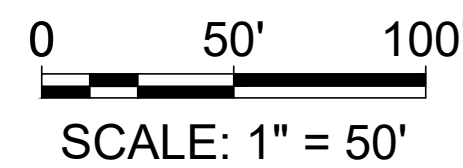
M:\Land 2021\Surveying\21-246 Highland Park Plat\Survey Plots\Highland Park Tennis Complex Addition.dwg, 1/12/2023, BUI



Civil Engineering Professionals, Inc.
6080 Enterprise Drive, Casper, WY 82609
Phone 307.266.4346 Fax 307.266.0103
www.cepi-casper.com



- LEGEND
- ▲ SET BRASS CAP
 - SET MONUMENT 5/8" REBAR & ALUMINUM CAP
 - ◎ FOUND MONUMENT AS NOTED



VICINITY MAP
NO SCALE

APPROVALS

APPROVED BY THE CITY OF CASPER PLANNING AND ZONING COMMISSION OF CASPER, WYOMING
THIS _____ DAY OF _____, 2023.

ATTEST: _____ SECRETARY _____ CHAIRMAN

APPROVED BY THE CITY COUNCIL OF CASPER, WYOMING BY RESOLUTION NO. _____ DULY PASSED,
ADOPTED AND APPROVED THIS _____ DAY OF _____, 2023.

ATTEST: _____ CITY CLERK _____ MAYOR

INSPECTED AND APPROVED THIS _____ DAY OF _____, 2023.

_____ CITY ENGINEER

INSPECTED AND APPROVED THIS _____ DAY OF _____, 2023.

_____ CITY SURVEYOR

NOTES

1. ERROR OF CLOSURE EXCEEDS 1:91,000.
2. BASIS OF BEARING IS THE WYOMING STATE PLANE COORDINATE SYSTEM, EAST CENTRAL ZONE, NAD 1983/2011.
3. THE CONVERGENCE ANGLE AT THE POINT OF BEGINNING IS 00°42'14.57", AND THE COMBINED FACTOR IS 0.99977693.
4. ALL DISTANCES ARE GRID.
5. ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88 DATUM AND ARE NOT MEANT TO BE USED AS BENCHMARKS.

CERTIFICATE OF SURVEYOR

STATE OF WYOMING }
COUNTY OF NATRONA }SS

I, WILLIAM R. FEHRINGER, A REGISTERED PROFESSIONAL LAND SURVEYOR, LICENSE NO. 5528, DO HEREBY CERTIFY THAT THIS PLAT WAS MADE FROM NOTES TAKEN DURING AN ACTUAL SURVEY MADE UNDER MY DIRECT SUPERVISION IN NOVEMBER, 2021, AND THAT THIS PLAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, CORRECTLY AND ACCURATELY REPRESENTS SAID SURVEY. ALL DIMENSIONS ARE EXPRESSED IN FEET AND DECIMALS THEREOF AND COURSES REFERRED TO THE TRUE MERIDIAN. ALL BEING TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY WILLIAM R. FEHRINGER
THIS DAY OF _____, 2023.

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES _____

_____ NOTARY PUBLIC

CERTIFICATE OF DEDICATION

STATE OF WYOMING }
COUNTY OF NATRONA }SS

THE UNDERSIGNED, NATRONA COUNTY SCHOOL DISTRICT, DO HEREBY CERTIFY THAT THEY ARE THE OWNERS AND PROPRIETORS OF THE FOLLOWING DESCRIBED UNPLATTED PARCEL OF LAND SITUATE IN THE SE $\frac{1}{4}$ SECTION 10, T.33N., R.79W., 6TH P.M., NATRONA COUNTY, WYOMING, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE FRONTIER MIDDLE SCHOOL PARCEL, MONUMENTED BY A BRASS CAP AND BEING THE POINT OF BEGINNING;

THENCE S89°24'06"W, ALONG THE SOUTH LINE OF THE CITY OF CASPER HIGHLAND PARK AND THE NORTH LINE OF THE FRONTIER MIDDLE SCHOOL PARCEL, A DISTANCE OF 269.45 FEET TO THE SOUTHWEST CORNER OF THE PARCEL, MONUMENTED BY A BRASS CAP;

THENCE N00°33'42"W, ALONG THE WEST LINE OF THE PARCEL, A DISTANCE OF 467.01 FEET TO A POINT, MONUMENTED BY A BRASS CAP;

THENCE N11°47'59"E, ALONG THE WEST LINE OF THE PARCEL, A DISTANCE OF 148.92 FEET TO THE NORTHWEST CORNER OF THE PARCEL, MONUMENTED BY A BRASS CAP;

THENCE N89°31'17"E, ALONG THE NORTH LINE OF THE PARCEL, A DISTANCE OF 141.26 FEET TO A POINT MONUMENTED BY A BRASS CAP;

THENCE N00°23'34"E, ALONG THE WEST LINE OF THE PARCEL, A DISTANCE OF 212.20 FEET TO THE NORTHWEST CORNER OF THE PARCEL, MONUMENTED BY A BRASS CAP;

THENCE N89°40'35"E, ALONG THE NORTH LINE OF THE PARCEL, A DISTANCE OF 100.33 FEET TO THE NORTHEAST CORNER OF THE PARCEL, LOCATED ON THE WEST LINE OF SOUTH BEVERLY STREET, MONUMENTED BY A BRASS CAP;

THENCE IN A SOUTHEAST DIRECTION ALONG THE WEST LINE OF SOUTH BEVERLY STREET AND A CURVE TO THE RIGHT HAVING A RADIUS OF 500.00 FEET, THROUGH A CENTRAL ANGLE OF 13°24'57", A DISTANCE OF 117.07 FEET, WITH A CHORD BEARING OF S07°11'11"E, A DISTANCE OF 116.81 FEET TO THE END OF CURVE, MONUMENTED BY A BRASS CAP;

THENCE S00°28'43"E, ALONG THE EAST LINE OF THE PARCEL AND THE WEST LINE OF SOUTH BEVERLY STREET, A DISTANCE OF 707.81 FEET TO THE SOUTHEAST CORNER OF THE PARCEL, MONUMENTED BY A BRASS CAP;

THENCE S89°24'06"W, ALONG THE SOUTH LINE OF THE PARCEL, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED TRACT OF LAND CONTAINS 4.57 ACRES, AND IS SUBJECT TO ANY RIGHTS-OF-WAY AND/OR EASEMENTS, RESERVATIONS AND ENCUMBRANCES WHICH HAVE BEEN LEGALLY ACQUIRED.

THE PARCEL OF LAND, AS IT APPEARS ON THIS PLAT, IS DEDICATED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETORS. THE NAME OF THE SUBDIVISION SHALL BE "HIGHLAND PARK TENNIS COMPLEX ADDITION" AND THE OWNERS HEREBY GRANT TO THE PUBLIC AND PRIVATE UTILITY COMPANIES AN EASEMENT AND LICENSE TO LOCATE, CONSTRUCT, USE AND MAINTAIN CONDUITS, LINES, WIRES AND PIPES, ANY OR ALL OF THEM, UNDER AND ALONG THE STRIPS OF LAND MARKED "15' PUBLIC UTILITY EASEMENT", "20' STORM SEWER EASEMENT", "20' SANITARY SEWER EASEMENT" AND "25' SANITARY SEWER EASEMENT" AS SHOWN ON THIS PLAT. ALL ROADS AND STREETS AS SHOWN HEREON ARE HEREBY, OR HAVE BEEN PREVIOUSLY, DEDICATED TO THE USE OF THE PUBLIC.

NATRONA COUNTY SCHOOL DISTRICT
970 NORTH GLENN ROAD
CASPER, WY 82601

RAYMOND CATELLIER
NCS D SCHOOL BOARD CHAIRMAN

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY RAYMOND CATELLIER,
NCS D SCHOOL BOARD CHAIRMAN, THIS _____ DAY OF _____, 2023.

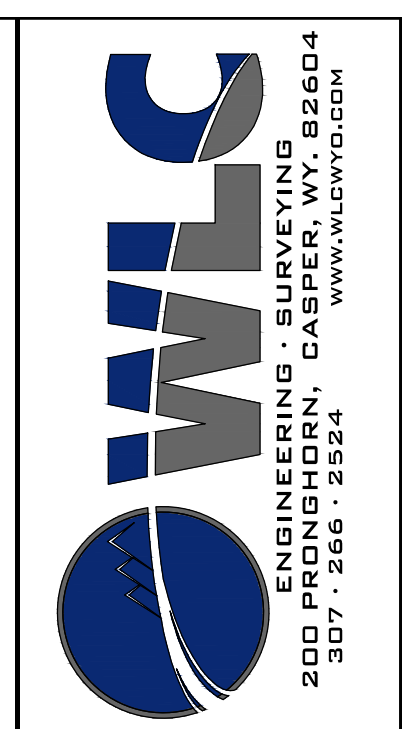
WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES _____

_____ NOTARY PUBLIC

PLAT OF A PORTION OF
THE CITY OF CASPER
HIGHLAND PARK
AS
**HIGHLAND PARK TENNIS
COMPLEX ADDITION**

AN ADDITION TO THE CITY OF CASPER, WYOMING
BEING A PORTION OF THE SE $\frac{1}{4}$
SECTION 10, T.33N., R.79W., 6TH P.M.
NATRONA COUNTY WYOMING
JANUARY, 2023
W.O. #21-246



W.O. No.: 17423
 Book No.:
 Drawn By: JLM
 Check By: JPO
 Acad File: HIGHLAND PARK DESIGN_CURRENT.dwg
 FOR: NATRONA COUNTY SCHOOL DISTRICT NO. 1
 970 N. GLENN ROAD
 CASPER, WY 82601

REVISIONS

NO.	DESCRIPTION

NATRONA COUNTY SCHOOL DISTRICT
 TENNIS FACILITY
 SITE PLAN

Proposed - Highland Park Tennis Complex Addition



Proposed - Highland Park Tennis Complex Addition



March 3, 2023

MEMO TO: Ken Bates, Chairperson
Members of the Planning and Zoning Commission

FROM: Liz Becher, Community Development Director
Craig Collins, AICP, City Planner

SUBJECT **ZOC-355-2023** – Request for a vacation and zone change of Lot 1 Majestic Mountain Addition, from Park Historic (PH) to General Business (C-2). Said property is located immediately east of the Paradise Valley Pool and north of the Iris Street cul-de-sac. Applicant: Pat Sullivan/Half Barrel Inc.

Recommendation:

The Planning and Zoning Commission may approve a zone change after hearing public testimony, and consideration of the facts of the case, if the proposed zone change meets the requirements of the Casper Municipal Code and is found to be in conformance with the Comprehensive Land Use Plan (Generation Casper).

Code Compliance:

Staff has completed all public notice requirements of Section 17.12.170 of the Casper Municipal Code pertaining to zone changes, including notification of property owners within 300 feet by first class mail, posting a sign on the property, and publishing legal notice in the Casper Star-Tribune. **At the time that the staff report was prepared, staff had not received any public comments on this case.**

Applicable City Codes and Adopted Policies/Plans

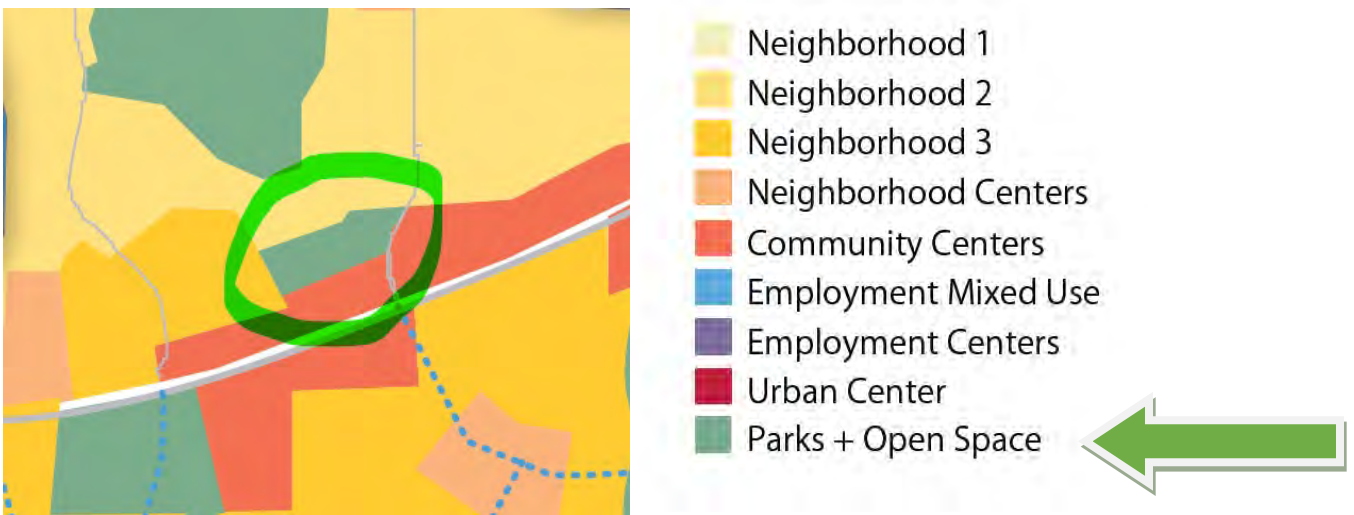
1. If the Planning and Zoning Commission “approves” the zone change, it will advance to the City Council for their consideration, with a “do-pass” recommendation from the Commission. However, if the zone change is denied by the Commission, the zone change will not progress to City Council unless an appeal is requested, in the manner specified by Code.
2. Imposing conditions of approval is not permissible with zone changes.
3. Buffering is required for all multi-unit residential dwellings adjacent to single family dwellings. Appendix C, Title 17 of the Casper Municipal Code provides six (6) acceptable buffering/screening alternatives that may be used.

4. 17.36.020 - Permitted uses in the C-2 (General Business) zoning district are as follows:

1. Animal clinics and animal treatment centers;
2. Apartments located within a business structure;
3. Arcades/amusement centers;
4. Assisted living;
5. Automobile park, sales area or service center;
6. Automobile service stations;
7. Banks, savings and loans, and finance companies;
8. Bars, taverns, retail liquor stores, and cocktail lounges;
9. Bed and breakfast;
10. Bed and breakfast homestay;
11. Bed and breakfast inn;
12. Business, general retail;
13. Chapels and mortuaries;
14. Churches;
15. Clubs or lodges;
16. Convenience establishment, medium volume;
17. Dance studios;
18. Day care, adult;
19. Child care center;
20. Family child care center—zoning review;
21. Family child care home;
22. Family child care home—zoning review;
23. Electrical, television, radio repair shops;
24. Gaming/gambling;
25. Grocery stores;
26. Group homes;
27. Homes for the homeless (emergency shelters);
28. Hotels, motels;
29. Neighborhood groceries;
30. Offices, general and professional;
31. Pet shops;
32. Medical laboratories, clinics, health spas, rehabilitation centers, real estate brokers, insurance agents;
33. Parking garages and/or lots;
34. Parks, playgrounds, historical sites, golf courses, and other similar recreational facilities;
35. Pawn shops;
36. Personal service shops;
37. Pharmacies;
38. Printing and newspaper houses;
39. Reception centers;

- 40. Recreation centers;
- 41. Restaurants, cafes, and coffee shops;
- 42. Retail business;
- 43. Sundry shops and specialty shops;
- 44. Theaters, auditoriums, and other places of indoor assembly;
- 45. Thrift shops;
- 46. Vocational centers, medical and professional institutions;
- 47. Neighborhood assembly uses;
- 48. Regional assembly uses;
- 49. Branch community facilities;
- 50. Neighborhood grocery;
- 51. Conventional site-built and modular single and **multifamily dwellings** and "manufactured homes" meeting the definition and standards set forth in Section 17.08.010.

5. Future Land Use Plan information for the subject area (Generation Casper Comprehensive Land Use Plan – pg 4-26):



Summary:

In 2006, the City created the Majestic Mountain Addition, and transferred ownership of the subject property to a gentleman named Paul Perry via Resolution #06-155. The City Council originally approved the property transfer in May of 2005, and the purpose, at the time, was for the construction of multi-unit, residential housing. Although the property was deemed “excess” and transferred by the City, unfortunately, the property was not rezoned at that time, and it has remained undeveloped, and zoned as PH (Park Historic). The current owner, Pat Sullivan/Half Barrel Inc.,

now intends to develop the property as multi-unit residential, and has requested a zone change to C-2 (General Business). Multi-unit residential is a permitted use in the C-2 (General Business) zoning district.

Existing zoning in the immediate area is as follows:

- North – R-2 (One Unit Residential) and PUD (Planned Unit Development);
- South – C-2 (General Business);
- West – PH (Park Historic);
- East – C-2 (General Business).

Existing land uses in the surrounding area are a mix of single-family residential, recreational/park, commercial, and undeveloped commercial properties.

Section 17.12.170 of the Casper Municipal Code provides guidance on zone change requests, and requires that the Community Development Director provide a report to the Commission as to the request's conformance with the Comprehensive Land Use Plan. The Comprehensive Land Use Plan, also commonly referred to as the "Generation Casper Comprehensive Land Use Plan," was completed and adopted, as official City of Casper policy, in 2017. The Plan was developed over a year and a half long process of gathering public input and direction about how the community wants to develop over the next twenty (20) year period.

The Generation Casper Comprehensive Plan also provides a Future Land Use Plan (FLU), which is found in Chapter Four (4), on Page 4-26. The FLU is an illustrative map that identifies the physical distribution of land uses, and forms the basis for future zoning and land use regulations. The FLU designates the desired future use of the subject property as "Parks and Open Space," which obviously doesn't reflect the previous sale of the property in 2006 for private development of the parcel.

The subject property is undeveloped land, located in proximity to properties currently receiving City services, and is, therefore, considered to be an "infill" site. When considering zone changes in infill situations, a primary concern should be whether the proposal is compatible with the existing area. Neighborhood concerns often focus on impacts to traffic, parking, and aesthetics. The Municipal Code requires adequate off-street parking for all uses, and requires that buffering/landscaping be provided when multi-unit residential abuts single-unit residential properties (Appendix C of Title 17). Camellia Street terminates into the property in the northwest corner, and when this parcel is platted for development, the City will require that the street be extended south, to connect with Iris Street. The extension of the street will ensure that there are multiple points of ingress/egress for the subject property, as well as the existing neighborhood.

RESOLUTION NO. 06-154

A RESOLUTION APPROVING THE REPLAT OF A PORTION OF LOT 1, PARADISE VALLEY RECREATION ADDITION TO CREATE THE MAJESTIC MOUNTAIN ADDITION, LOCATED NORTH OF IRIS STREET AND WEST OF PARADISE DRIVE, AND COMPRISING 4.86-ACRES.

WHEREAS, the City of Casper is the applicant for a replat of a portion of Lot 1, Paradise Valley Recreation Addition to create the Majestic Mountain Addition; and,

WHEREAS, the creation of the Majestic Mountain Addition will facilitate the transfer of this property to Mr. Paul Perry, as approved by Council in May of 2005; and,

WHEREAS, the City of Casper Planning and Zoning Commission passed a motion recommending that the City Council approve said replat request with a 6-0 vote following a public hearing on April 25, 2006; and,

WHEREAS, it is the desire of the governing body of the City of Casper to approve said replat within the City of Casper, Wyoming.

NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF CASPER, WYOMING: That the Mayor is hereby authorized and directed to execute, and the City Clerk to attest, this resolution approving the replat of a portion of Lot 1, Paradise Valley Recreation Addition to create the Majestic Mountain Addition.

BE IT FURTHER RESOLVED BY THE GOVERNINBG BODY OF THE CITY OF CASPER, WYOMING: That the Mayor is hereby authorized to sign the plat creating the Majestic Mountain Addition as the Owner of the property.

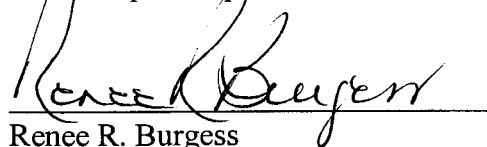
PASSED, APPROVED, AND ADOPTED this 16th day of May, 2006.

ATTEST:



V. H. McDonald
City Clerk

CITY OF CASPER, WYOMING
A Municipal Corporation



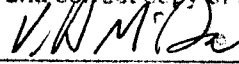
Renee R. Burgess
Mayor



798502

NATRONA COUNTY CLERK, WYOMING
Mary Ann Collins Recorded: KA
Aug 11, 2006 09:32:51 AM
Pages: 1 Fee: \$8.00
CITY OF CASPER

I hereby certify that this document is a true and correct copy of the original.



City Clerk
City of Casper, Wyoming

PLAT OF
"MAJESTIC MOUNTAIN ADDITION"
 TO THE CITY OF CASPER, WYOMING
 A REPLAT OF A PORTION OF LOT 1
 PARADISE VALLEY RECREATION ADDITION
 TO THE CITY OF CASPER, WYOMING
 A SUBDIVISION OF A PORTION OF
 THE SE1/4NE1/4, SECTION 23
 TOWNSHIP 33 NORTH, RANGE 80 WEST
 SIXTH PRINCIPAL MERIDIAN
 NATRONA COUNTY, WYOMING
 SCALE: 1"=80'

CERTIFICATE OF DEDICATION

RENEE R. BURGESS, acting as Mayor of the City of Casper, Wyoming, a Municipality, hereby certify that they are the owners and proprietors of the foregoing lands located in and being a replat of a portion of Lot 1, Paradise Valley Recreation Addition to the City of Casper, Wyoming, a subdivision of portions of the NE1/4 and SE1/4, Section 23, Township 33 North, Range 80 West of the Sixth Principal Meridian, Natrona County, Wyoming, and being more particularly described by metes and bounds as follows:

Beginning at the northeasterly corner of the Parcel being described and also the northeasterly corner of said Lot 1, Paradise Valley Recreation Addition and a point in the curved westerly line of Paradise Drive; thence from said Point of Beginning and along the westerly line of said Parcel and Lot 1 and the westerly line of said Paradise Drive and along the arc of a true curve to the left, having a radius of 1029.33 feet and through a central angle of 20°48'18", southeasterly, 373.96 feet to the chord of which bears S23°03'44"W., 371.83 feet to a point and end of said curve; thence S12°39'40"W., 146.88 feet to the southeasterly corner of said Parcel and Lot 1 and a point in and intersection with the northerly line of 50 feet wide Side Street; thence along the southerly line of said Parcel and Lot 1 and the northerly line of said Side Street, 140.52 feet to a point; thence into said Lot 1 and along the arc of a true curve to the left, having a radius of 54.40 feet and through a central angle of 113°17'53", southeasterly, 108.05 feet and the chord of which bears S78°28'28"W., 81.19 feet to a point of reverse curve; thence along the arc of a true curve to the right, having a radius of 13.78 feet and through a central angle of 48°04'24", southeasterly, 11.28 feet and the chord of which bears S43°06'10"W., 11.23 feet to a point and end of said curve; thence S70°08'38"W., 55.40 feet to the southeasterly corner of said Parcel; thence along the westerly line of said Parcel, N18°48'18"W., 183.28 feet to a point; thence N45°15'29"W., 104.05 feet to the northeasterly corner of said Parcel and a point in and intersection with the curved northerly line of said Lot 1 and the southeasterly corner of Block 10, Paradise Valley, an Addition to the City of Casper, Wyoming; thence along the northerly line of said Parcel and Lot 1 and the southerly line of 50 feet wide Conditia (street) and the southerly line of Block 10 of said Paradise Valley and the arc of a true curve to the left, having a radius of 385.03 feet and through a central angle of 24°09'18", northeasterly, 413.26 feet and the chord of which bears N47°13'42"E., 412.19 feet to the northeasterly corner of said Parcel and Lot 1; thence along the northerly line of said Parcel and Lot 1, S89°13'22"E., 350.53 feet to the Point of Beginning and containing 4.86 acres, more or less.

The subdivision of the foregoing described lands is with the free consent and in accordance with the desires of the above named owners and proprietors. The name of said replat shall be known as "MAJESTIC MOUNTAIN ADDITION" to the City of Casper, Wyoming. All streets as shown hereon are hereby or were previously dedicated to the use of the public and monuments as shown hereon are hereby reserved for the purposes of construction, operation and maintenance of utility lines, conduits and ditches and drainage as required for the proper development of said subdivision.

CITY OF CASPER
 200 N. David Street
 Casper, WY 82601

 Mayor of the City of Casper, Wyoming

 Attest: City Clerk

ACKNOWLEDGMENT

State of Wyoming)
 County of Natrona)
 The foregoing instrument was acknowledged before me by Renee R. Burgess on this 1st day of August, 2006.
 Witness my hand and official seal:

 My commission expires: _____

APPROVALS

APPROVED: Community Planning Commission of Casper, Wyoming this 25th day of April, 2006 and forwarded to the City Council of Casper, Wyoming with recommendation that said plat be approved.

 City Clerk
 APPROVED: City Council of the City of Casper, Wyoming by Resolution No. 06-154 duly passed, adopted and approved on the 16th day of May, 2006.

 City Clerk
 INSPECTED AND APPROVED on the 24th day of July, 2006.

 City Engineer
 INSPECTED AND APPROVED on the 24th day of July, 2006.

 City Engineer
 INSPECTED AND APPROVED on the 2nd day of August, 2006.

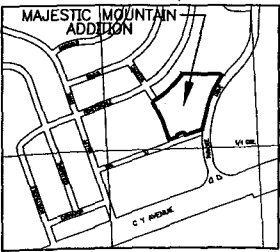
 County Surveyor
 Filed for Record in the Office of the County Clerk of Natrona County, Wyoming this 11th day of August, 2006.

 City Clerk
 My term of office expires January 2, 2007

CERTIFICATE OF SURVEYOR

STATE OF WYOMING)
 COUNTY OF NATRONA)
 I, Steve M. Coatts, of Casper, Wyoming hereby state that this plat was prepared from notes taken during actual surveys made by me or others under my direct supervision during the months of August, 2005 and March, 2006 and that this map correctly represents said surveys. All particular corners are well and accurately monumented by brass caps as of the date of this map. All dimensions are expressed in feet and decimals thereof and courses referred to the true meridian, all being true and correct to the best of my knowledge and belief.
 Wyoming Registration No. 8010 L.S.
 Subscribed in my presence and sworn to before me by Steve M. Coatts this 21st day of July, 2006.
 My commission expires: _____

 City Clerk



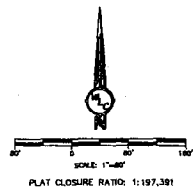
LOCATION & VICINITY MAP
 SCALE: 1"=500'

- LEGEND**
- SET BRASS CAP
 - RECOVERED CORNER (AS NOTED)
 - RECOVERED BRASS CAP
 - BOUNDARY
 - EASEMENT
 - MEASURED BEARING & DISTANCE
 - RECORD BEARING & DISTANCE

N. 84°32'30"E., 469.86'
 N. 64°32'30"E., 469.86'


DATUM:
 GRIDLINE DISTANCE - U.S. FOOT
 BASIS OF BEARING - GEODETIC BASED ON GPS
 COORDINATES REFER TO CITY OF CASPER GCS DATUM,
 WYOMING STATE PLANE COORDINATES, EAST CENTRAL
 ZONE, NAD83/86 AND ELEVATIONS REFER TO NAVD29.

Survey & Plat by:
WORTHINGTON, LENHART and CARPENTER, INC.
 300 Pringle Avenue Casper, Wyoming 82601 (307) 236-5229
 1614 Hwy. 2280 Doctor Field Road Casper, Wyo. 82601




SCALE: 1"=80'
 PLAT CLOSURE RATIO: 1:197.391

ATTEST:


V. H. McDonald
City Clerk

CITY OF CASPER, WYOMING
A Municipal Corporation


Renee R. Burgess
Mayor

RESOLUTION NO. 06-155

A RESOLUTION AUTHORIZING THE SALE OF A
4.86-ACRE PARCEL OF CITY-OWNED PROPERTY.

WHEREAS, the City is the owner of the Majestic Mountain Addition, located north of Iris Street and west of Paradise Drive, and comprising 4.86-acres; and,

WHEREAS, the Majestic Mountain Addition is currently vacant, City-owned property, which the City Council as deemed to be surplus; and,

WHEREAS, pursuant to W.S. 15-1-112(a), the City must publish notice of its intent to sell any real property valued at over \$500.00 and approve the sale at a public hearing. The property must be sold to the highest responsible bidder unless the Council chooses to reject all bids; and,

WHEREAS, legal notices were placed in the Casper Star-Tribune for 3 consecutive weeks in April of 2005 regarding the sale of the above referenced property, and advertisements in three separate sections of the Casper Star-Tribune Sunday Real Estate sections for two successive weeks; and,

WHEREAS, Mr. Paul Perry submitted the highest bid of \$195,000 for the above referenced property; and,


WHEREAS, the City desires to accept the Mr. Perry's bid on the Majestic Mountain Addition in the amount of \$195,000 minus surveying, platting, and closing costs.

NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF CASPER, WYOMING: That the Majestic Mountain Addition, a 4.86-acre parcel, more or less, is hereby sold by Quit Claim Deed to Mr. Paul Perry (Majestic Mountain Inc.), whose address is P.O. Box 379024, Las Vegas, Nevada, 89137, for a purchase amount of One Hundred Ninety-Five Thousand (\$195,000) Dollars minus surveying, platting, and closing costs. The receipt of \$10,000 earnest money payment is hereby acknowledged.

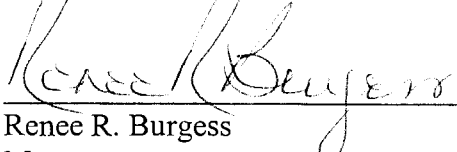
BE IT FURTHER RESOLVED BY THE GOVERNING BODY OF THE CITY OF CASPER, WYOMING: That the Community Development Director may act on the Council's behalf and execute all closing documents pertaining to the sale of the above referenced property.

PASSED, APPROVED, AND ADOPTED this 16th day of May, 2006.

ATTEST:


V. H. McDonald
City Clerk

CITY OF CASPER, WYOMING
A Municipal Corporation


Renee R. Burgess
Mayor

for plan purposes under 5111 Iris



City of Casper Planning Division

Zoning/Zone Change Application

OWNER/PETITIONER'S INFORMATION:

NAME: Pat Sullivan/Half barrel INK.
ADDRESS: 6488 Coates Rd. Casper, WY 82604
TELEPHONE: 307-277-5272 EMAIL: psullivan6@outlook.com

I/WE, THE UNDERSIGNED, HEREBY PETITION THE CITY TO ZONE/REZONE THE FOLLOWING DESCRIBED REAL PROPERTY:

LEGAL DESCRIPTION: Lot 1 Majestic Mountain Addition
STREET ADDRESS: Iris St. and Paradise Drive Intersection
FROM EXISTING ZONING DISTRICT: PH
TO PROPOSED ZONING DISTRICT: C-2

UPON THE ZONING/REZONING OF THE ABOVE-DESCRIBED REAL PROPERTY, I (WE) PROPOSE TO USE THE PROPERTY FOR THE FOLLOWING PURPOSES (BRIEF STATEMENT OF FACTS AND JUSTIFICATION FOR REZONING):

Build 4-Plex Apartment housing

The following owners' signatures signify that all information on the application is accurate and correct to the best of the owners' knowledge.

SIGNATURE OF PROPERTY OWNER: Pat Sullivan

SIGNATURE OF PROPERTY OWNER: _____

DATE: 1-27-23

SUBMIT TO:

Community Development Department
Planning Division
200 N David, RM 203
Casper, WY 82601
Phone: 307-235-8241
E-mail: ccollins@casperwy.gov

A COMPLETE SUBMITTAL MUST INCLUDE:

- COMPLETED APPLICATION, INCLUDING ORIGINAL SIGNATURES OF ALL OWNERS
- PROOF OF OWNERSHIP
- \$750 APPLICATION FEE (NON-REFUNDABLE)

FOR OFFICE USE ONLY:

DATE SUBMITTED: _____

REC'D BY: _____

Lot 1, Majestic Mountain Addition - Zone Change



DAHLIA

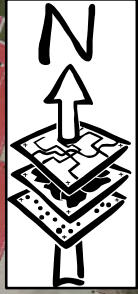
CAMELIA

HONEYSUCKLE

IRIS

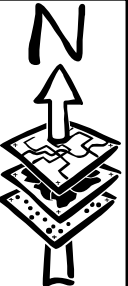
PARADISE DR

Legend
Subject_Property




137, 150, 158, 164, 168, 171, 174, 177, 163, 165, 166, 167, 169, 170, 172, 173, 174, 141, 144, 147, 148, 149, 152, 153, 156, 161, 165, 177, 138, 139, 143, 145, 148, 153, 133, 135, 139, 143, 145, 149, 153, 161, 165, 169, 173, 177, 5200, 5111, 5121, 5131, 5141, 5211, 5221, 5231

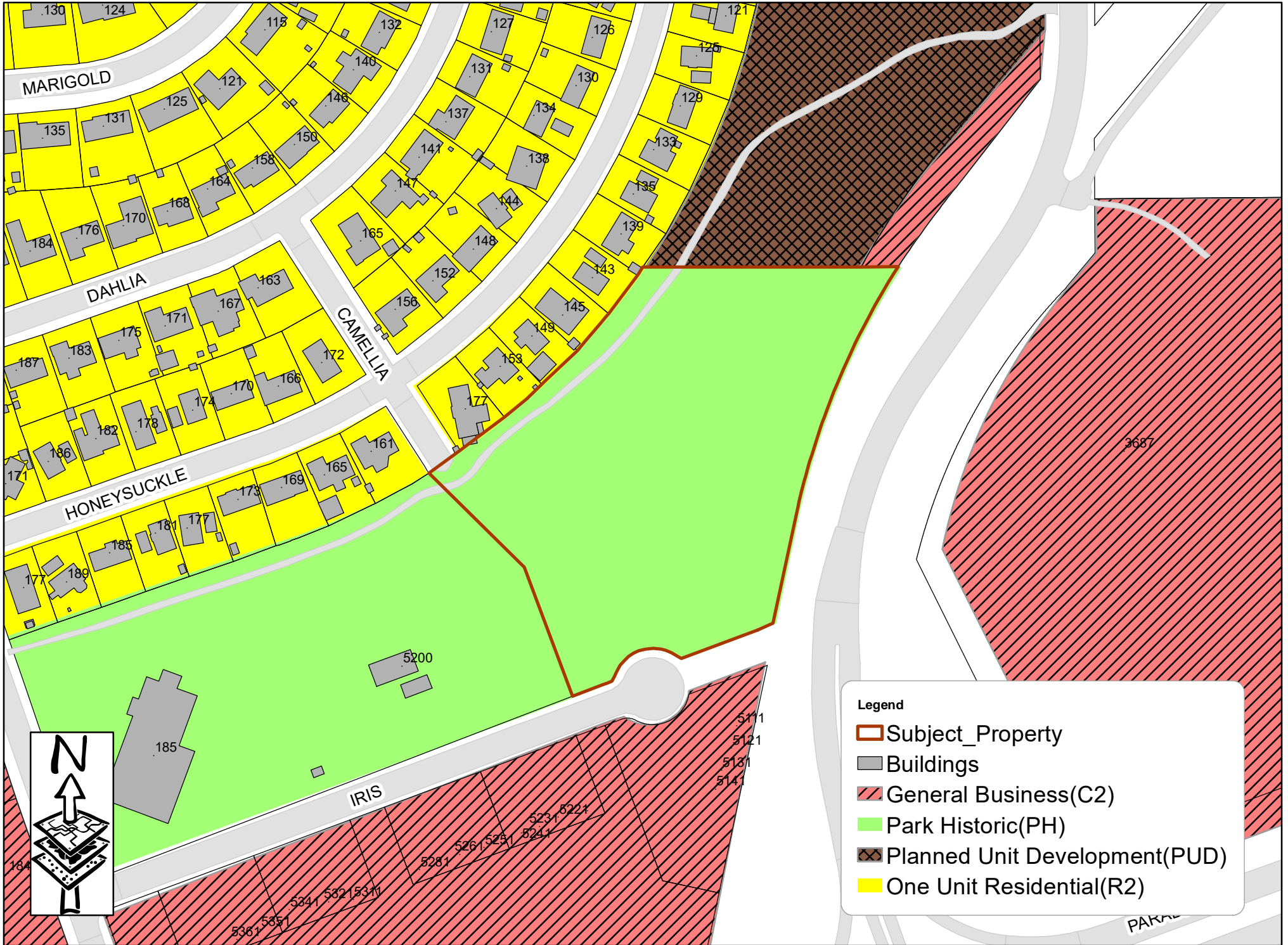
Lot 1, Majestic Mountain Addition - Zone Change



Legend

 Subject_Property

Lot 1, Majestic Mountain Addition - Zone Change



Barbara Santmire

From: Doris Gish <dorisgish85@gmail.com>
Sent: Wednesday, March 1, 2023 12:04 PM
To: Planning
Subject: rezoning of Majestic Mountain Addition

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Craig Collins
City Planner

Dear Sir:

I am against rezoning the property known as Majestic Mountain Addition in Paradise Valley. This area is one of the last places in Paradise Valley where the deer can safely eat and wander in the evening.

Please take this into consideration when you make the decision against rezoning.

Thank you for your consideration.

Doris Gish

March 3, 2023

MEMO TO: Ken Bates, Chairperson
Members of the Planning and Zoning Commission

FROM: Liz Becher, Community Development Director
Craig Collins, AICP, City Planner

SUBJECT: **SUB-356-2023** & **ZOC-357-2023** – Request for approval of a plat creating the Lukasiewicz Subdivision, and zoning said subdivision as AG (Urban Agriculture). The proposed subdivision consists of an unplatted parcel located in the NW1/4NW1/4 of Section 23, T.33N., R80W., 6th PM, Natrona County, Wyoming; and a portion of lots 22 and 23 of the Paradise Valley Addition. Said property encompasses 4.6-acres, more or less, and will consist of two (2) tracts. Applicant: Del Lukasiewicz.

Recommendation on the replat:

If, after hearing public testimony and considering the facts of the case, the Planning and Zoning Commission finds that the proposed plat meets the minimum requirements of the Casper Municipal Code, staff recommends approval with a “do pass” recommendation to the City Council with the following recommended condition:

1. At such time that Robertson Road is improved, and upon the direction of the City, the Owner of the property shall participate in a proportionate share of the cost of installation of standard City curb, gutter and sidewalk along the property frontage.

Recommendation on the zone change:

Staff recommends that the Planning and Zoning Commission resolve the split zoning of the parcel by rezoning the property from R-1 (Residential Estate) and AG (Urban Agriculture) to entirely AG (Urban Agriculture), and forward a “do pass” recommendation to the City Council.

Code Compliance:

Staff has completed all public notice requirements of Sections 16.24 and 17.12.170 of the Casper Municipal Code pertaining to plats and zone changes, including notification of property owners within 300 feet by first class mail, posting a sign on the property, and publishing legal notice in the Casper Star-Tribune. **At the time that the staff report was prepared staff had not received any public comments.**

Applicable City Codes and Adopted Policies/Plans

1. If the Planning and Zoning Commission “approves” the zone change, it will advance to the City Council for their consideration, with a “do-pass” recommendation from the Commission. However, if the zone change is denied by the Commission, the zone change will not progress to City Council unless an appeal is requested, in the manner specified by Code.
2. Imposing conditions of approval is not permissible with zone changes.
3. The Planning and Zoning Commission’s decision with regard to the plat is a recommendation to Council. With an approval, a “do-pass” recommendation will be forwarded to Council, and with a denial, a “do-not-pass” recommendation will be forwarded.
4. The minimum lot area for properties in the AG (Urban Agriculture) zoning district is one (1) acre, if public water and sewer are provided.
5. The following is a list of permitted uses in the AG (Urban Agriculture) zoning district:
 1. The keeping and raising of food animals and pleasure animals; and the cultivation of gardens, orchards, and crops;
 2. Conventional site-built single-family dwellings and manufactured homes with siding material consisting of wood or wood products, stucco, brick, rock, or horizontal lap wood, steel or vinyl siding;
 3. Bed and breakfast;
 4. Day-care, adult;
 5. Family child care center - zoning review;
 6. Family child care home;
 7. Family child care home - zoning review;
 8. Greenhouses and nurseries;
 9. Reserved;
 10. Parks, playgrounds, historical sites, golf courses, and other recreational facilities;
 11. Tree farms, commercial;
 12. Neighborhood assembly uses;
 13. Group home;
 14. Church.

Summary:

Application has been made for plat approval creating the Lukasiwicz subdivision, located between Robertson Road and the North Platte River, directly east of Village Drive. The proposed subdivision encompasses 4.6-acres, more or less, and is creating two (2) buildable tracts. The smallest tract is 1.44-acres in size, which exceeds the City's one-acre minimum lot size in the AG (Urban Agriculture) zoning district.

In a companion item, application has been made to rezone the proposed subdivision to AG (Urban Agriculture). Currently, the unplatted portion of the property is zoned AG (Urban Agriculture) and the previously-platted portion, adjacent to the river, is zoned R-1 (Residential Estate). The proposed rezone is simply a consolidation of the zoning for the property.

Staff has included one recommended condition of approval that requires the property owner to participate in Robertson Road upgrades at some point in the future. Robertson Road is not currently constructed to City standards, and lacks curb, gutters and sidewalks. It is customary for adjacent properties to bear the cost of street construction, and necessary street improvements are always addressed in the subdivision agreement at the time properties are platted. There are no plans to improve Robertson Road in the immediate future.

SUB-356-2023



City of Casper Planning Division

Plat/Subdivision Application

OWNER'S INFORMATION:

NAME: Del Lukasiewicz
ADDRESS: 3541 Maplewood Lane, Johnstown, CO 80534-4101
TELEPHONE: 303-475-0616 EMAIL: del@westeconstruction.com

OWNER'S AUTHORIZED REPRESENTATIVE:

NAME: ECS Engineers
ADDRESS: 111 West 2nd Street, Ste 600, Casper, WY 82601
TELEPHONE: 307-337-2883 EMAIL: sgustafson@ecsengineers.net

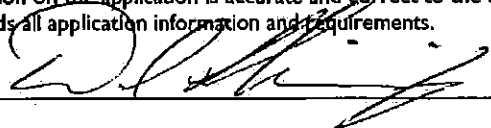
APPLYING FOR (check one): FINAL PLAT REPLAT MINOR BOUNDARY ADJUSTMENT

NAME OF SUBDIVISION: Lukasiewicz subdivision
LEGAL DESCRIPTION OF LAND: PT NW¼NW¼ OF SECTION 23, T.33N., R.80W., 6TH P.M
and a portion of Lots 22 and 23 of the Paradise Valley Addition
COMMON ADDRESS OR LOCATIONAL DESCRIPTION: Not Addressed

CURRENT LAND USE: Vacant

TOTAL ACREAGE: 4.6 acres/sq ft
NUMBER OF LOTS: 3 (Minor Boundary Adjustment can not exceed 2 lots)
SIZE OF LARGEST LOT: 3.6 SIZE OF SMALLEST LOT: .5
CURRENT ZONING: AG/R1 PROPOSED ZONING: AG

The following owner's signature, or agent, signifies that all information on the application is accurate and correct to the best of the owner's knowledge, and that the owner has thoroughly read and understands all application information and requirements.

SIGNATURE OF PROPERTY OWNER: 
DATE: 1/26/2023

SUBMIT TO:

Community Development Department
Planning Division
200 N David, RM 203
Casper, WY 82601
Phone: 307-235-8241
E-mail: ccollins@casperwy.gov

A COMPLETE SUBMITTAL MUST INCLUDE:

- COMPLETED APPLICATION, INCLUDING ORIGINAL SIGNATURES OF PROPERTY OWNERS
- PROOF OF OWNERSHIP
- PDF (11"X17" SCALE) OF THE PLAT (Full-Size Hard Copies MAY Also be Required)
- ARCGIS-COMPATIBLE SHAPEFILE SHOWING LOTS, BLOCKS, STREETS, ETC.
- \$1,200 (25 LOTS OR FEWER); \$1,800 (26 Lots or more); (\$200 FOR MINOR BOUNDARY ADJUSTMENT); (Preliminary Plat \$1,000), APPLICATION FEE (NON-REFUNDABLE)

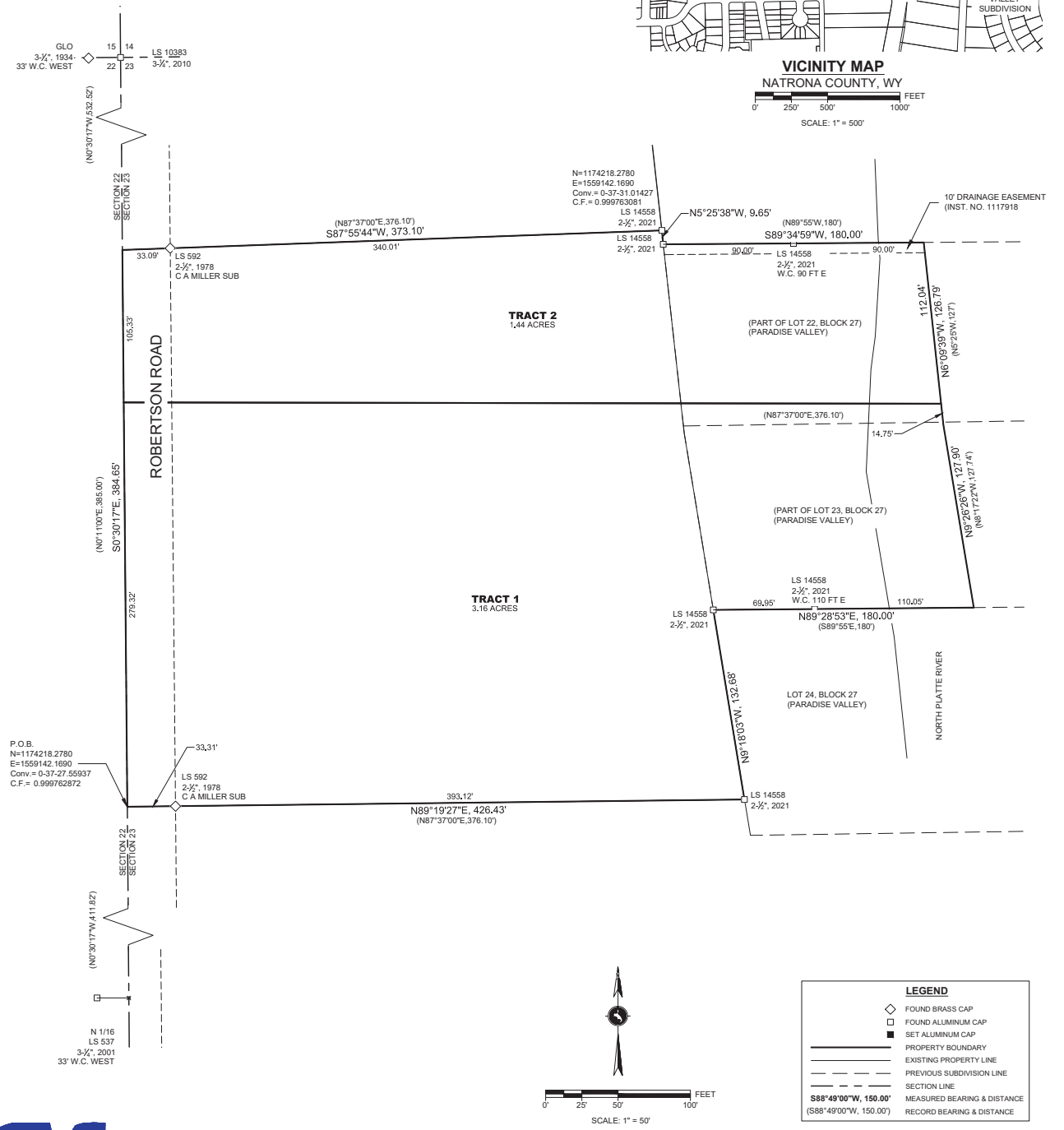
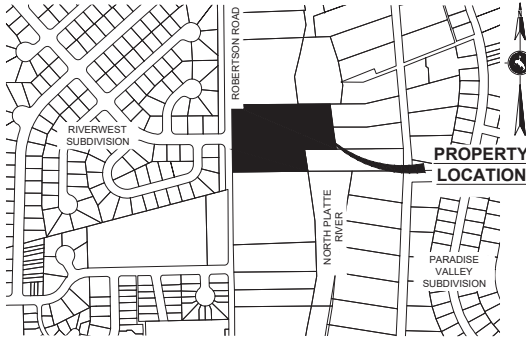
FOR OFFICE USE ONLY:

DATE SUBMITTED:

REC'D BY: _____

PLAT OF LUKASIEWICZ SUBDIVISION

LOCATED IN THE NW1/4NW1/4 SECTION 23, T.33N.,
R.80W., 6TH P.M.,
NATRONA COUNTY, WYOMING



P.O.B.
N=1174218.2780
E=1559142.1690
Conv. = 0-37-27.55937
C.F. = 0.999762872

LS 592
2-1/2", 1978
C.A. MILLER SUB

LS 592
2-1/2", 1978
C.A. MILLER SUB

EC ENGINEERS
Environmental and Civil Solutions, LLC
111 West 2nd Street, Suite 600
Casper, WY 82604
Phone: 307.337.2883
www.ecsengineers.net

PROJECT NO. 220039

OWNER:
DEL LUKASIEWICZ
3541 MAPLEWOOD LN
JOHNSTOWN, CO 80534-4101

SURVEYOR:
FIELD: BP & TY
REVIEW: JAMES F. JONES, P.L.S.

DATE DRAWN:
1.03.2023

LEGEND	
	FOUND BRASS CAP
	FOUND ALUMINUM CAP
	SET ALUMINUM CAP
	PROPERTY BOUNDARY
	EXISTING PROPERTY LINE
	PREVIOUS SUBDIVISION LINE
	SECTION LINE
	MEASURED BEARING & DISTANCE
	RECORD BEARING & DISTANCE

- NOTES**
- ERROR OF CLOSURE EXCEEDS 1:157,000
 - BEARINGS AND COORDINATES ARE BASED ON WYOMING STATE PLANE COORDINATE SYSTEM, EAST CENTRAL ZONE, NAD 1983/2011.
 - ELEVATIONS ARE NAVD88 AND NOT TO BE USED AS BENCHMARKS.
 - DISTANCES: US SURVEY FOOT/GRID.

CERTIFICATE OF DEDICATION:

THE UNDERSIGNED, DEL LUKASIEWICZ, DOES HEREBY CERTIFY THAT HE IS THE OWNER AND PROPRIETOR OF THE FOLLOWING DESCRIBED PARCEL OF LAND, SITUATED IN THE NW1/4NW1/4 OF SECTION 23, T.33N., R.80W., 6TH P.M., NATRONA COUNTY, WYOMING, AND INCLUDES PORTIONS OF LOTS 22 AND 23 OF BLOCK 27 OF THE PARADISE VALLEY SUBDIVISION, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT THE N1/6 CORNER COMMON TO SAID SECTION 23 AND SECTION 22, T.33N., R.80W, SAID CORNER BEING REFERENCED BY AN ALUMINUM CAP WITNESS CORNER THAT BEARS S.89°19'27"W., 33.31 FEET FROM SAID N1/6 CORNER; THENCE N00°30'17"W, ALONG THE WEST LINE OF SAID SECTION 23, 411.82 FEET TO THE POINT OF BEGINNING OF THIS LEGAL DESCRIPTION, SAID POINT BEING THE SOUTHWEST CORNER OF THE PARCEL OF LAND BEING DESCRIBED HEREIN; THENCE N89°19'27"E, ALONG THE SOUTHERLY LINE OF THE PARCEL OF LAND BEING DESCRIBED HEREIN, 33.31 FEET TO A FOUND BRASS CAP ON THE EASTERLY RIGHT-OF-WAY LINE OF ROBERTSON ROAD; THENCE N89°19'27"E, CONTINUING ALONG THE SOUTHERLY LINE OF THE PARCEL OF LAND BEING DESCRIBED HEREIN, 393.12 FEET TO A FOUND ALUMINUM CAP AT AN ANGLE POINT IN THIS LEGAL DESCRIPTION, SAID POINT BEING LOCATED ON THE WESTERLY LINE OF LOT 24, BLOCK 27 OF THE PARADISE VALLEY SUBDIVISION; THENCE N09°18'03"W, ALONG THE WESTERLY LINE OF SAID LOT 24 AND THE EASTERLY LINE OF THE PARCEL OF LAND BEING DESCRIBED HEREIN, 132.68 FEET TO A FOUND ALUMINUM CAP AT THE SOUTHWEST CORNER OF LOT 23, BLOCK 27 OF THE PARADISE VALLEY SUBDIVISION; THENCE N89°28'53"E, ALONG THE SOUTHERLY LINE OF SAID LOT 23 AND THE SOUTHERLY LINE OF THE PARCEL OF LAND BEING DESCRIBED HEREIN, 180.00 FEET TO THE SOUTHWEST CORNER OF THIS PARCEL OF LAND; THENCE N09°26'26"W, ALONG THE EASTERLY LINE OF THE PARCEL OF LAND BEING DESCRIBED HEREIN, 127.90 FEET TO AN ANGLE POINT BEING LOCATED ON THE LOT LINE COMMON TO SAID LOTS 22 AND 23, BLOCK 27 OF THE PARADISE VALLEY SUBDIVISION; THENCE N06°09'39"W, CONTINUING ALONG THE EASTERLY LINE OF THE PARCEL OF LAND BEING DESCRIBED HEREIN, SAID POINT BEING LOCATED ON THE NORTH LINE OF SAID LOT 22, BLOCK 27 OF THE PARADISE VALLEY SUBDIVISION; THENCE S89°34'59"W, ALONG THE NORTHERLY LINE OF SAID LOT 22 AND THE NORTHERLY LINE OF THE PARCEL OF LAND BEING DESCRIBED HEREIN, 180.00 FEET TO A FOUND ALUMINUM CAP AT AN ANGLE POINT IN THIS LEGAL DESCRIPTION; THENCE N05°25'38"W, CONTINUING ALONG THE NORTHERLY LINE OF THE PARCEL OF LAND BEING DESCRIBED HEREIN, 9.65 FEET TO A FOUND ALUMINUM CAP AT AN ANGLE POINT IN THIS LEGAL DESCRIPTION; THENCE S87°55'44"W, CONTINUING ALONG THE NORTHERLY LINE OF THE PARCEL OF LAND BEING DESCRIBED HEREIN, 340.01 FEET TO A FOUND BRASS CAP ON THE EASTERLY RIGHT-OF-WAY LINE OF ROBERTSON ROAD; THENCE S87°55'44"W, CONTINUING ALONG THE NORTHERLY LINE OF THE PARCEL OF LAND BEING DESCRIBED HEREIN, 33.09 FEET TO THE NORTHWEST CORNER OF THE PARCEL OF LAND BEING DESCRIBED HEREIN; THENCE S00°30'17"E, ALONG THE WESTERLY LINE OF THE PARCEL OF LAND BEING DESCRIBED HEREIN, 384.65 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 4.60 ACRES, AND IS SUBJECT TO ALL RIGHTS-OF-WAY AND/OR EASEMENTS, RESERVATIONS AND ENCROACHMENTS WHICH HAVE BEEN LEGALLY ACQUIRED.

THE TRACT OF LAND, AS IT APPEARS ON THIS PLAT, IS DEDICATED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE ABOVE NAMED OWNERS AND PROPRIETORS, THE NAME OF THE SUBDIVISION SHALL BE KNOWN AS LUKASIEWICZ SUBDIVISION. ALL STREETS AS SHOWN HEREON ARE HEREBY OR WERE PREVIOUSLY DEDICATED TO THE USE OF THE PUBLIC AND EASEMENTS SHOWN HEREON ARE HEREBY DEDICATED FOR THE USE OF PUBLIC AND PRIVATE UTILITY COMPANIES FOR THE PURPOSES OF CONSTRUCTION, OPERATION, AND MAINTENANCE OF UTILITY LINES, CONDUITS, DITCHES, DRAINAGE, AND ACCESS.

DEL LUKASIEWICZ
3541 MAPLEWOOD LN
JOHNSTOWN, CO 80534-4101

CITY OF CASPER
200 N. DAVID STREET
CASPER, WY 82601

DEL LUKASIEWICZ
BRUCE KNELL - MAYOR

THE FORGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY DEL LUKASIEWICZ, THIS _____ DAY OF _____, 2023. STATE OF WYOMING)
) SS
COUNTY OF NATRONA)

WITNESS MY HAND AND OFFICIAL SEAL.
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2023, BY BRUCE KNELL - MAYOR, CITY OF CASPER.
WITNESS MY HAND AND OFFICIAL SEAL.

APPROVALS

APPROVED: PLANNING AND ZONING COMMISSION CASPER, WYOMING
THIS _____ DAY OF _____, 2023 AND FORWARDED TO THE CITY COUNCIL OF CASPER, WYOMING WITH RECOMMENDATION THAT SAID PLAT BE APPROVED.

COMMISSION CHAIRMAN _____ SECRETARY _____

APPROVED: CITY COUNCIL OF THE CITY OF CASPER, WYOMING BY ORDINANCE NUMBER _____ DULY PASSED, ADOPTED AND APPROVED ON THIS _____ DAY OF _____, 2023.

MAYOR _____ ATTEST: CITY CLERK _____

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____
INSPECTED AND APPROVED ON THIS _____ DAY OF _____, 2023.
CITY ENGINEER _____
INSPECTED AND APPROVED ON THIS _____ DAY OF _____, 2023.
CITY SURVEYOR _____

CERTIFICATE OF SURVEYOR

I, JAMES F. JONES, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, REGISTERED UNDER THE LAWS OF THE STATE OF WYOMING, THAT THIS PLAT IS A TRUE, CORRECT AND COMPLETE PLAT OF LUKASIEWICZ SUBDIVISION TO THE CITY OF CASPER, WYOMING, AS LAID OUT, PLATTED, DEDICATED AND SHOWN HEREON, AND THAT THIS PLAT WAS MADE FROM NOTES TAKEN DURING AN ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION IN AUGUST, 2022, AND THAT THIS PLAT TO THE BEST OF MY KNOWLEDGE AND BELIEF CORRECTLY AND ACCURATELY REPRESENTS SAID SURVEY.

STATE OF WYOMING)
) SS
COUNTY OF NATRONA)

THIS THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY JAMES F. JONES
THIS _____ DAY OF _____, 2023.

WITNESS MY HAND AND OFFICIAL SEAL.
NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____



Proposed Lukasiewicz Subdivision



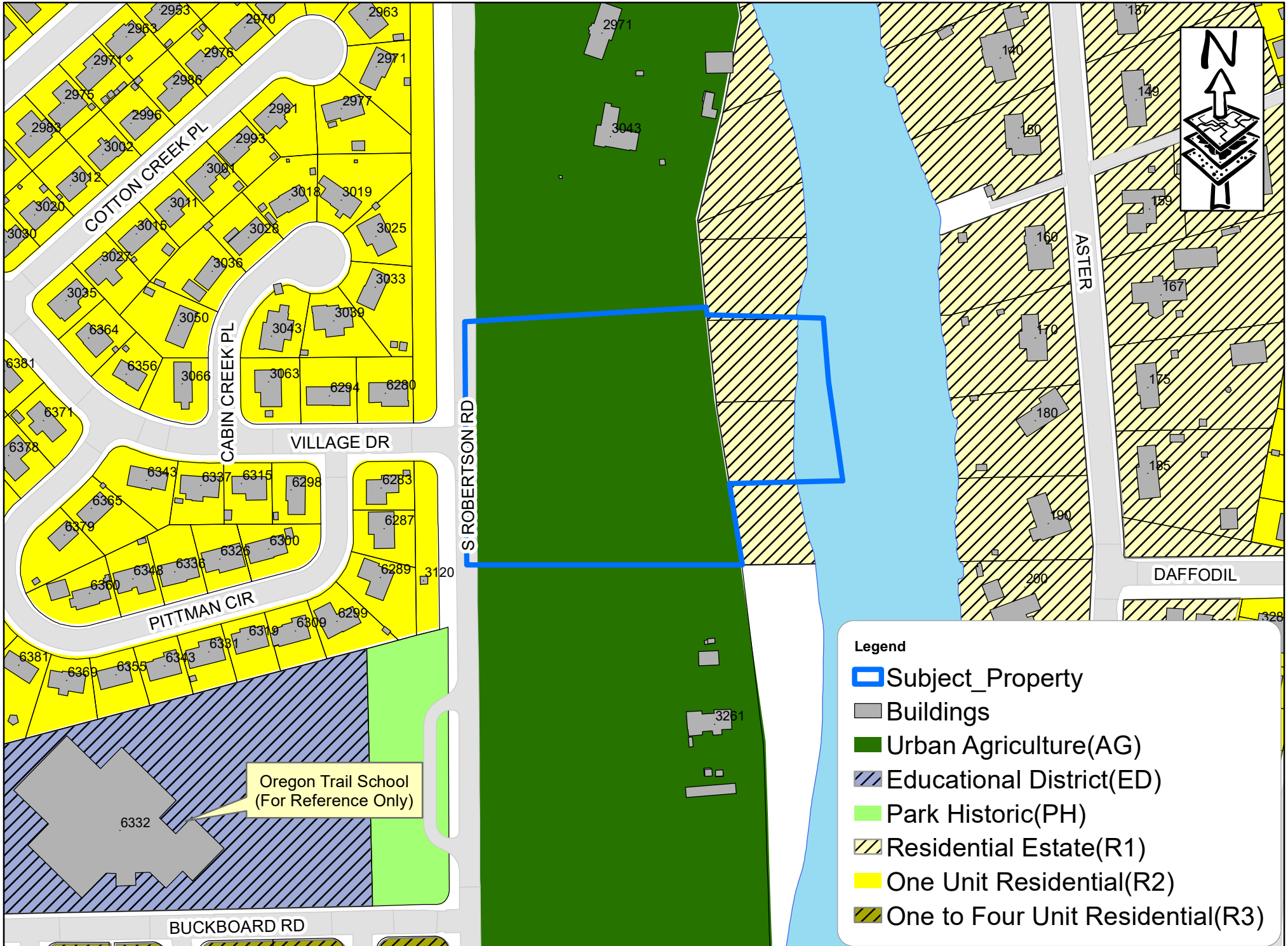
Legend

 Subject_Property

Proposed Lukasiewicz Subdivision



Proposed Lukasiewicz Subdivision



March 3, 2023

MEMO TO: Ken Bates, Chairperson
Members, Planning and Zoning Commission

FROM: Liz Becher, Community Development Director
Craig Collins, AICP, City Planner

SUBJECT: **SP-358-2023** – Site plan review for the construction of a 130,720 square foot, indoor sports facility, located directly north of the Ford Wyoming Center on portions of Lot 3 of North Platte River Park No. 2. Applicant: WYO Complex.

Recommendation:

If, after the required public hearing, the Planning and Zoning Commission finds that the site plan meets the minimum requirements of the Casper Municipal Code, staff recommends that the Planning and Zoning Commission forward a “do-pass” recommendation to the City Council.

Code Compliance:

Staff has complied with all requirements of Section 17.12.150 of the Casper Municipal Code pertaining to site plans, including notification of property owners within three hundred (300) feet by first class mail, posting of the property, and publishing legal notice in the Casper Star-Tribune. **Staff has not received any public comments regarding this case.**

Applicable City Codes and Adopted Policies/Plans

1. The Planning and Zoning Commission’s decision for buildings/structures over 43,560 square feet in footprint/area is a recommendation to the City Council. With an approval, a “do-pass” recommendation will be forwarded to Council, and with a denial, a “do-not-pass” recommendation will be forwarded.
2. Section 17.12.150(D) of the Casper Municipal Code provides the review criteria for the approval of a site plan. Those criteria include whether the site plan is compatible with the goals and policies of many of the City’s adopted plans. Other design-related criteria for the approval of a site plan include the following:
 - Promote the efficient use of land by means of a sound arrangement of buildings, safe and functional points of access, well planned parking circulation systems, and adequate sidewalks and pathways for pedestrians.
 - Provide for landscaping and, within high density housing complexes, usable open space, such as, but not limited to, bicycle paths, playground areas, courtyards, areas for active recreation, swimming pools, landscaping, gardens, walks, outdoor seating areas, outdoor picnic areas, and similar open space.

- Preserve and utilize, where possible, existing landscape features and amenities, and blend such features with the new structures and other improvements.

Summary:

WYO Complex has applied for site plan approval for the construction of a 130,720 square foot, indoor sports facility to be located adjacent to, and directly north of, the Ford Wyoming Center. The City of Casper has executed a long-term lease for approximately 14.5-acres of property for the sports facility. The subject property is zoned PH (Park Historic), and the proposed use is a listed, permitted use, by right.

Access to the property will be off Events Drive, via established entrance points to the Ford Wyoming Center. As a stand-alone facility, a total of 571 parking spaces are required, and the site plan indicates that the site plan requirement has been met. In addition, the sports facility will share parking with the Ford Wyoming Center. A minimum of nine (9) ADA compliant parking spaces are required to serve the sports facility, and fourteen (14) have been provided.

The Municipal Code requires that a site of this size provide a minimum of six (6) percent of the land area as landscaping. Landscaped islands are required every fifteen (15) parking spaces. Buffering and street trees are required along all public street frontages. The landscape architect coordinated with the City of Casper Parks Division to determine the best species of plant materials that have the best chance of success at the site. In addition, the necessary irrigation for the site will be accommodated by an existing raw water system, which draws water from the river.

Stormwater drainage from the site will be detained on site and conveyed at historic levels through a combination of underground flow through a proposed storm sewer network, overland ditches, and curb and gutter, to detention reservoirs north of Events Drive. An engineered drainage study was submitted and approved by the City Engineer.

Site lighting will consist of a combination of thirty (30) foot tall area lights, twelve (12) foot high pedestrian lights, and wall packs located on the structure. All light fixtures will be full cutoff to ensure that all lighting stays on the site.

A traffic study was recently completed, and concluded that all intersections in the surrounding area would operate at a level of service (LOS) "B" or better, and access/traffic management is adequate. There were no recommended on or off-site traffic improvements necessary to accommodate the project, as it is designed/submitted.

SP-358-2023



City of Casper Planning Division

Site Plan Application

OWNER'S INFORMATION:

NAME: WYO Complex
ADDRESS: P.O. Box 1907, Casper, WY 82602
TELEPHONE: 307-268-9900 EMAIL: info@wyosportsranch.com

OWNER'S AUTHORIZED REPRESENTATIVE:

NAME: Stateline No.7 Architects - Anthony Jacobsen, Project Manager
ADDRESS: 444 S. Center St., Casper, WY 82601
TELEPHONE: 307-265-3611 EMAIL: ajacobsen@stateline7.com

LEGAL DESCRIPTION OF LAND UNDER PROPOSAL:
PORTIONS OF LOT 3 OF NORTH PLATTE RIVER PARK NO. 2

STREET ADDRESS:
NA

PROPOSED USE OF SITE (i.e., restaurant, theater, multi-family residential, etc.):
INDOOR SPORTS FACILITY

WHERE APPLICABLE:

Number of residential dwelling units:	<u>NA</u>
Dwelling units per acre:	<u>NA</u>
Total Building Footprint/Size:	<u>130,720 SF</u>
If an Existing Building, Size of Addition (Footprint):	<u>NA</u>
Maximum Occupancy, if Place of Assembly:	<u>3,989</u>
Total Floor Area in Square Feet:	<u>128,959 SF</u>

The following owner's signature, or agent, signifies that all information on the site plan application is accurate and correct to the best of the owner's knowledge, and that the owner has thoroughly read and understands all site plan application information and requirements.

SIGNATURE OF PROPERTY OWNER/APPLICANT: _____

DATE: _____

SUBMIT TO:

Community Development Department
Planning Division
200 N David, RM 203
Casper, WY 82601
Phone: 307-235-8241
E-mail: ccollins@casperwy.gov

A COMPLETE SITE PLAN SUBMITTAL MUST INCLUDE:

- COMPLETED APPLICATION, INCLUDING ORIGINAL SIGNATURES
- PROOF OF OWNERSHIP
- PDF OF SITE PLAN, LANDSCAPING PLAN, ETC. AT 11"x17" SCALE (FULL SIZED HARD COPIES MAY BE REQUIRED)
- APPLICATION FEE—\$600 (up to 20,000 sq ft Bld footprint); \$1,200 (20,001-43,560 sq ft); \$2,000 (43,561 sq ft or more); PUD Guidelines/ Site Plan \$2,300 ; PUD Amendments \$1,000; OYD Design Review (FREE)

For Official Use Only:

DATE SUBMITTED: _____

REC'D BY: _____

WYO SPORTS RANCH, CASPER, WY

CITY OF CASPER SITE PLAN SUBMITTAL

IN PROGRESS
NOT FOR
CONSTRUCTION

TALLGRASS
LANDSCAPE ARCHITECTURE
413 NORTH 4TH STREET
CUSTER, SD 57730
605-673-3167
TALLGRASSLANDSCAPEARCHITECTURE.COM

SHEET INDEX		
NO.	SHEET NO.	SHEET NAME
1	0.00	COVER
2	1.05	SITE SURVEY
3	1.08	OVERALL SITE PLAN
4	1.10	SURFACING PLAN EAST
5	1.11	SURFACING PLAN WEST
6	1.15	GRADING PLAN EAST
7	1.17	GRADING PLAN WEST
8	1.20	PROPOSED UTILITIES OVERALL LAYOUT
9	1.25	SITE UTILITY SERVICES
10	1.50	LANDSCAPE SURFACING PLAN
11	1.51	TREE PLANTING PLAN EAST
12	1.52	TREE PLANTING PLAN WEST
13	1.53	DETAILED PLANTING PLAN
14	5.10	OVERALL BUILDING ELEVATIONS
15	16.01	ELECTRICAL SITE PLAN
16	16.02	ELECTRICAL SITE PLAN

VICINITY MAP 20



WYO SPORTS RANCH: LOCATION MAP SCALE: 1"=600'

SITE PLAN - CITY SUBMITTAL CHECK LIST

1. SIGNED APPLICATION AND FEE.
2. LEGAL DESCRIPTION AND COMMON ADDRESS(ES) OF THE PROPOSED SITE.
3. TITLE BLOCK STATING NAME OF PROJECT, DESIGNER, AND ADDRESS AND TELEPHONE NUMBER OF DESIGNER.
4. SURROUNDING LAND USES, BUILDINGS, AND ZONING ON ALL ADJACENT SIDES, INCLUDING THOSE LANDS SEPARATED FROM THE LAND UNDER CONSIDERATION BY A STREET, ALLEY, OR OTHER ROADWAY, AS SHOWN.
5. CURRENT ZONING OF THE LAND UNDER CONSIDERATION AND PROPOSED ZONING, IF APPLICABLE; CURRENT ZONING: PH-PARK HISTORIC; PROPOSED ZONING: PH-PARK HISTORIC.
6. NORTH ARROW, SCALE OF SITE PLAN AT A SCALE OF 1"=10' OR A MULTIPLE THEREOF, AND DATE SITE PLAN WAS PREPARED, AS SHOWN.
7. LOT OR PARCEL DIMENSIONS: AS SHOWN.
8. DIMENSIONS OF ALL SETBACKS AND HEIGHTS OF ALL PROPOSED BUILDINGS/STRUCTURES:
 - 8.1. SETBACKS: 15' FROM PUBLIC R.O.W. (PENDING CITY COUNCIL APPROVAL OF ZONING RULES CHANGE)
 - 8.2. HEIGHTS: SEE ARCHITECT ELEVATIONS
9. LOCATION AND DIMENSIONS OF ALL PROPOSED OFF-STREET LOADING DOCK AREAS, INCLUDING STREET ACCESS AND TRAFFIC FLOW, TO THESE AREAS: AS SHOWN.
10. LOCATION OF ALL TRASH RECEPTACLES, METHOD OF SCREENING/ENCLOSURE, AND SIZE/LOCATION OF CONCRETE PAD: AS SHOWN.
11. LOCATIONS AND TYPES OF ALL ADVERTISING SIGNS AND FENCES; SIGNAGE: AS SHOWN; FENCING: AS SHOWN.
12. ANY SCREENING, BUFFERING, OR SCREENING DEVICES USED TO MINIMIZE OR ELIMINATE AREAS WHICH TEND TO BE UNSIGHTLY: AS SHOWN ON SITE AND PLANTING PLANS.
13. LOCATION AND TYPE OF EXISTING AND PROPOSED EXTERIOR LIGHTING (FULL CUTOFF FIXTURES REQUIRED): AS SHOWN.
14. NAMES AND WIDTHS OF ALL ADJACENT STREETS, DIMENSIONS AND LOCATION OF ALL PUBLIC AND PRIVATE ROADWAYS RELATIVE TO PROPERTY LINES, STREETS, OR DRIVEWAYS; BOTH PAVED AND UNPAVED, INCLUDING RIGHTS-OF-WAY, PAVEMENT WIDTH, AND PROPOSED USES OF RIGHTS-OF-WAY: AS SHOWN.
15. LOCATION AND DIMENSIONS OF EXISTING AND PROPOSED CURB CUTS AND SIDEWALKS: AS SHOWN.
16. OFF-STREET PARKING SPACES, LOCATIONS AND DIMENSIONS, LAYOUT, TRAFFIC CONTROL, COMPACT AND HANDICAP PARKING SPACES, INCLUDING ALL SURFACE MARKINGS SUCH AS DIRECTIONAL ARROWS.
17. LOCATION OF ALL WHEEL STOPS, BUMPER GUARDS, AND CURBING WARRANTED BY TOPOGRAPHY OR TRAFFIC AND PEDESTRIAN CIRCULATION: AS SHOWN.
18. TYPES OF GROUND OR YARD SURFACING THROUGHOUT, GRASS, PAVING, GRAVEL, ETC.: AS SHOWN.
19. EXISTING AND PROPOSED EASEMENTS (ON SITE, AND OFF-SITE WHEN NECESSARY TO THE DEVELOPMENT): AS SHOWN.
20. VICINITY LOCATION MAP AT A SCALE OF 1"=600' CLEARLY INDICATING THE LOCATION OF THE LAND IN QUESTION WITH RESPECT TO A LARGER RECOGNIZABLE AREA: AS SHOWN.
21. GENERAL NOTES TO INCLUDE SUMMARY OF:
 - A. TOTAL LAND AREA IN ACRES OR SQUARE FEET
 - B. TOTAL BUILDING FOOTPRINT IN SQUARE FEET
 - C. PERCENTAGE OF LAND COVERED BY BUILDING
 - D. BUILDING HEIGHT(S)
 - E. NUMBER OF STORIES AND TOTAL SQUARE FOOTAGE OF LEASEABLE SPACE (FLOOR AREA)
 - F. NUMBER OF PARKING SPACES REQUIRED: SEE PARKING SUMMARY
 - G. NUMBER OF DWELLING UNITS, IF APPLICABLE
 - H. DENSITY OF DWELLING UNITS, PER ACRE
 - I. TOTAL NUMBER OF PARKING SPACES PROPOSED: SEE PARKING SUMMARY
 - J. TOTAL NUMBER OF OFF-STREET PARKING SPACES REQUIRED BY CODE
 - K. TOTAL NUMBER OF ADA-COMPLIANT PARKING SPACES
 - L. SQUARE FOOTAGE OF ALL LANDSCAPED AREAS
 - M. PERCENTAGE OF SITE COVERED BY LANDSCAPING
 - N. PERCENTAGE OF LANDSCAPING THAT IS ORGANIC/IRRIGATED VS. INORGANIC/DECORATIVE
 - O. AREA TO BE DISTURBED BY GRADING OR CONSTRUCTION
 - P. FLOOD ZONE DESIGNATION
22. NUMBERING OF ITEMS ON THE SITE PLAN TO CORRESPOND TO ITEMS ON THIS CHECKLIST: AS SHOWN.
23. EXISTING AND PROPOSED CONTOURS: CONTOUR INFORMATION SHALL EXTEND 25' INTO ADJOINING PROPERTIES TO REPRESENT DRAINAGE SYSTEM CONTINUITY: AS SHOWN.
24. SURFACE DRAINAGE STUDY FOR SITES OF 10,000 SQUARE FEET OR MORE, BASED ON THE RESULTS OF THE STUDY, THE APPLICANT MAY BE REQUIRED TO CONTRIBUTE TO OFF-SITE DRAINAGE IMPROVEMENTS: SEE DRAINAGE STUDY INCLUDED WITH SUBMITTAL.
25. PAVEMENT DESIGN REPORT FOR PARKING AND DRIVING AREAS: SEE GEOTECHNICAL REPORT.
26. LOCATION, TYPE AND SIZE OF ALL EASEMENTS: AS SHOWN.
27. LOCATION OF ALL EXISTING AND PROPOSED UTILITIES, INCLUDING MAINS AND SERVICE LINES: AS SHOWN.
28. ARCHITECTURAL/BUILDING ELEVATIONS/RENDERINGS: ATTACHED.
29. DETAILED LANDSCAPING PLAN SHOWING LOCATIONS, TYPES, SIZES, AND NUMBER OF ALL PLANT MATERIALS: ATTACHED.
30. INCLUDE NUMBER OF ESTIMATED TRIPS PER PEAK HOUR ACCORDING TO THE ITE MANUAL. IF THE PROPOSED USE GENERATES MORE THAN 75 TRIPS PER PEAK HOUR, A TRAFFIC STUDY IS REQUIRED AS OUTLINED IN SECTION 16.20.080(B) OF THE CASPER MUNICIPAL CODE. BASED ON THE RESULTS OF THE STUDY, THE APPLICANT MAY BE REQUIRED TO CONTRIBUTE TO OFF-SITE TRAFFIC IMPROVEMENTS: PEAK HOUR TRIPS WILL EXCEED 75. TRAFFIC STUDY HAS BEEN INITIATED THROUGH CITY ENGINEERING.

PROJECT DESIGNERS

OWNER'S AUTHORIZED REPRESENTATIVE
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PROJECT NUMBER
21-007

DATE
FEB. 3, 2023

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Author

DISK ID.

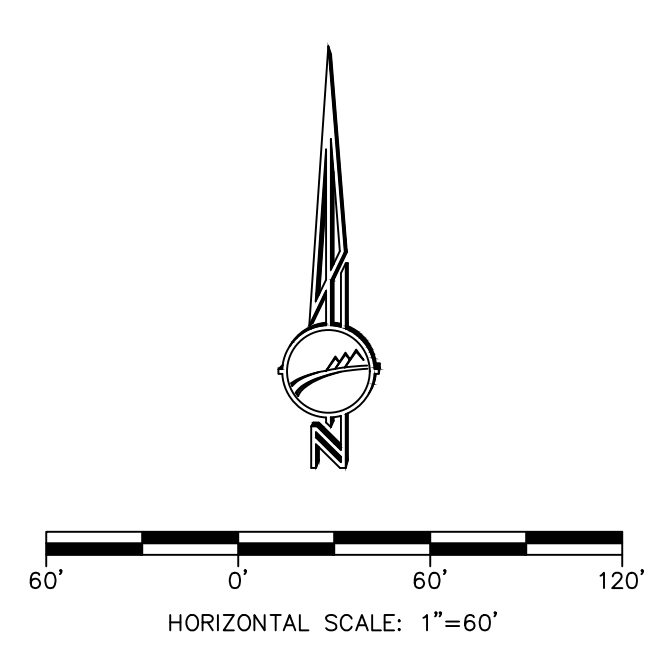
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SUBMITTAL

SHEET NUMBER

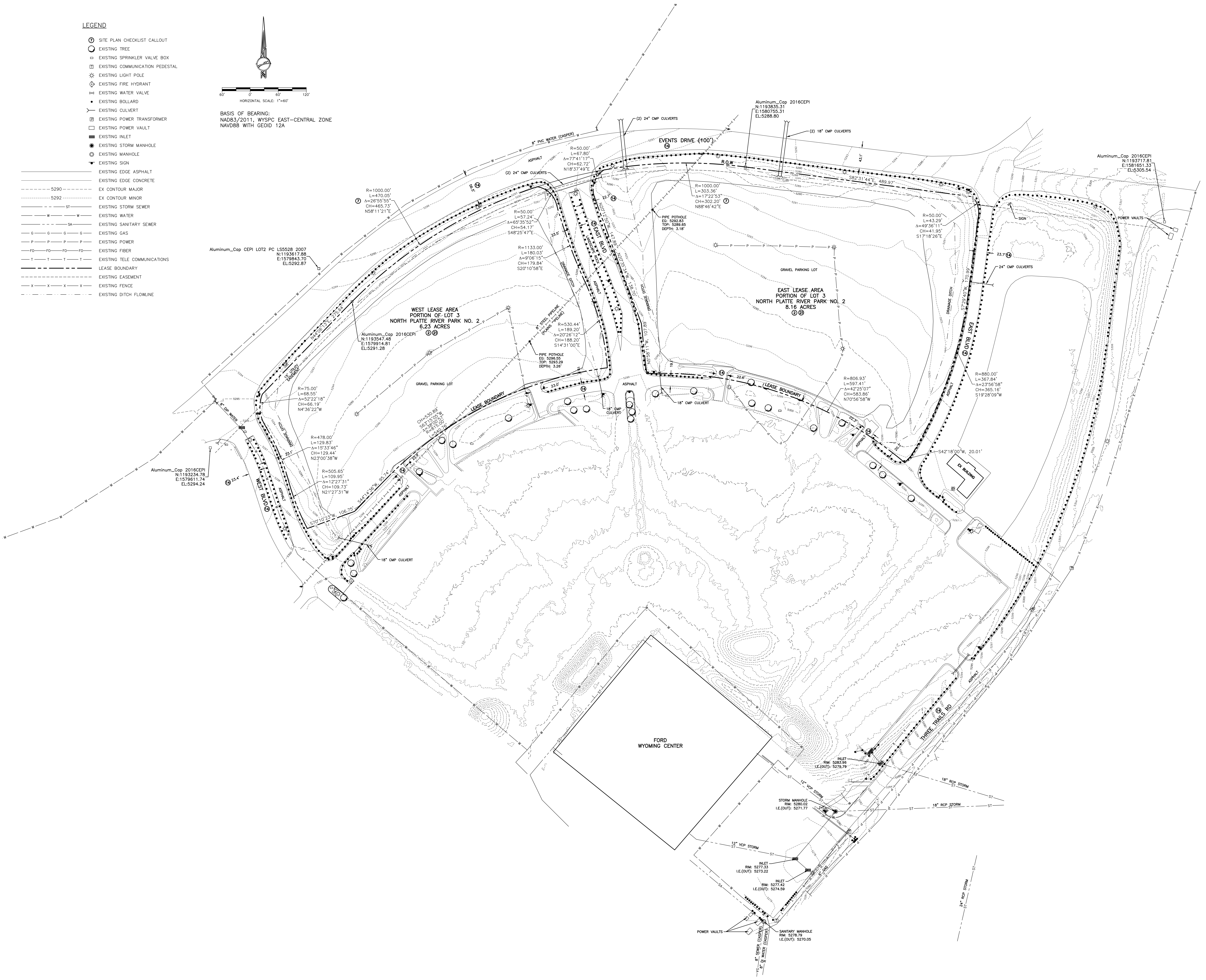
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LEGEND

- ⊙ SITE PLAN CHECKLIST CALLOUT
- EXISTING TREE
- EXISTING SPRINKLER VALVE BOX
- ⊞ EXISTING COMMUNICATION PEDESTAL
- ✱ EXISTING LIGHT POLE
- ⊕ EXISTING FIRE HYDRANT
- ⊖ EXISTING WATER VALVE
- EXISTING BOLLARD
- EXISTING CULVERT
- ⊞ EXISTING POWER TRANSFORMER
- EXISTING POWER VAULT
- EXISTING INLET
- ⊕ EXISTING STORM MANHOLE
- ⊖ EXISTING MANHOLE
- ⊙ EXISTING SIGN
- EXISTING EDGE ASPHALT
- EXISTING EDGE CONCRETE
- 5290 EX CONTOUR MAJOR
- 5292 EX CONTOUR MINOR
- ST EXISTING STORM SEWER
- W EXISTING WATER
- SA EXISTING SANITARY SEWER
- G EXISTING GAS
- P EXISTING POWER
- FO EXISTING FIBER
- T EXISTING TELE COMMUNICATIONS
- LEASE BOUNDARY
- EXISTING EASEMENT
- X EXISTING FENCE
- EXISTING DITCH FLOWLINE



BASIS OF BEARING:
NAD83/2011, WYSPC EAST-CENTRAL ZONE
NAVDS8 WITH GEOID 12A



Aluminum_Cap CEPI LOT2 PC LSS558 2007
N:1193617.88
E:1579843.70
EL:5292.87

WEST LEASE AREA
PORTION OF LOT 3
NORTH PLATE RIVER PARK NO. 2
6.23 ACRES

EAST LEASE AREA
PORTION OF LOT 3
NORTH PLATE RIVER PARK NO. 2
8.16 ACRES

FORD
WYOMING CENTER

THREE TRAINS RD

ITEM 21: SITE SUMMARY

CHECKLIST	DESCRIPTION	QUANTITIES
A.	TOTAL LAND AREA:	14.5 ACRES 8.13 ACRES (PORTION OF TRACT 4) EAST 6.37 ACRES (WEST LEASE AREA / PORTION OF TRACT 4)
B.	TOTAL BUILDING FOOTPRINT:	130,720 SF
C.	PERCENTAGE OF LAND COVERED BY BUILDING:	20.7%
D.	BUILDING HEIGHT(S):	62'-6", 47'-0"
E.	NUMBER OF STORIES & TOTAL SQUARE FOOTAGE OF LEASEABLE SPACE:	SINGLE STORY 129,959 SF
F.	NUMBER OF PARKING SPACES REQUIRED:	571
G.	NUMBER OF DWELLING UNITS, IF APPLICABLE:	N/A
H.	DENSITY OF DWELLING UNITS, PER ACRE:	N/A
I.	TOTAL NUMBER OF PARKING SPACES PROPOSED:	571
J.	TOTAL NUMBER OF OFF-STREET PARKING SPACES REQUIRED BY CODE:	571
K.	TOTAL NUMBER OF ADA-COMPLIANT PARKING SPACES:	14
L.	SQUARE FOOTAGE OF ALL LANDSCAPED AREAS:	SEE PLANTING PLAN
M.	PERCENTAGE OF SITE COVERED BY LANDSCAPING:	SEE PLANTING PLAN
N.	PERCENTAGE OF LANDSCAPING THAT IS ORGANIC/IRRIGATED VS INORGANIC/DECORATIVE:	ORGANIC / IRRIGATED: 100% (PARKING LOT ISLANDS AND SOME PLANTING BEDS ARE IRRIGATED BUT HAVE INORGANIC MULCH. SEE PLANTING PLANS)
O.	AREA TO BE DISTURBED BY GRADING OR CONSTRUCTION:	14.5 ACRES
P.	FLOOD ZONE DESIGNATION:	NONE

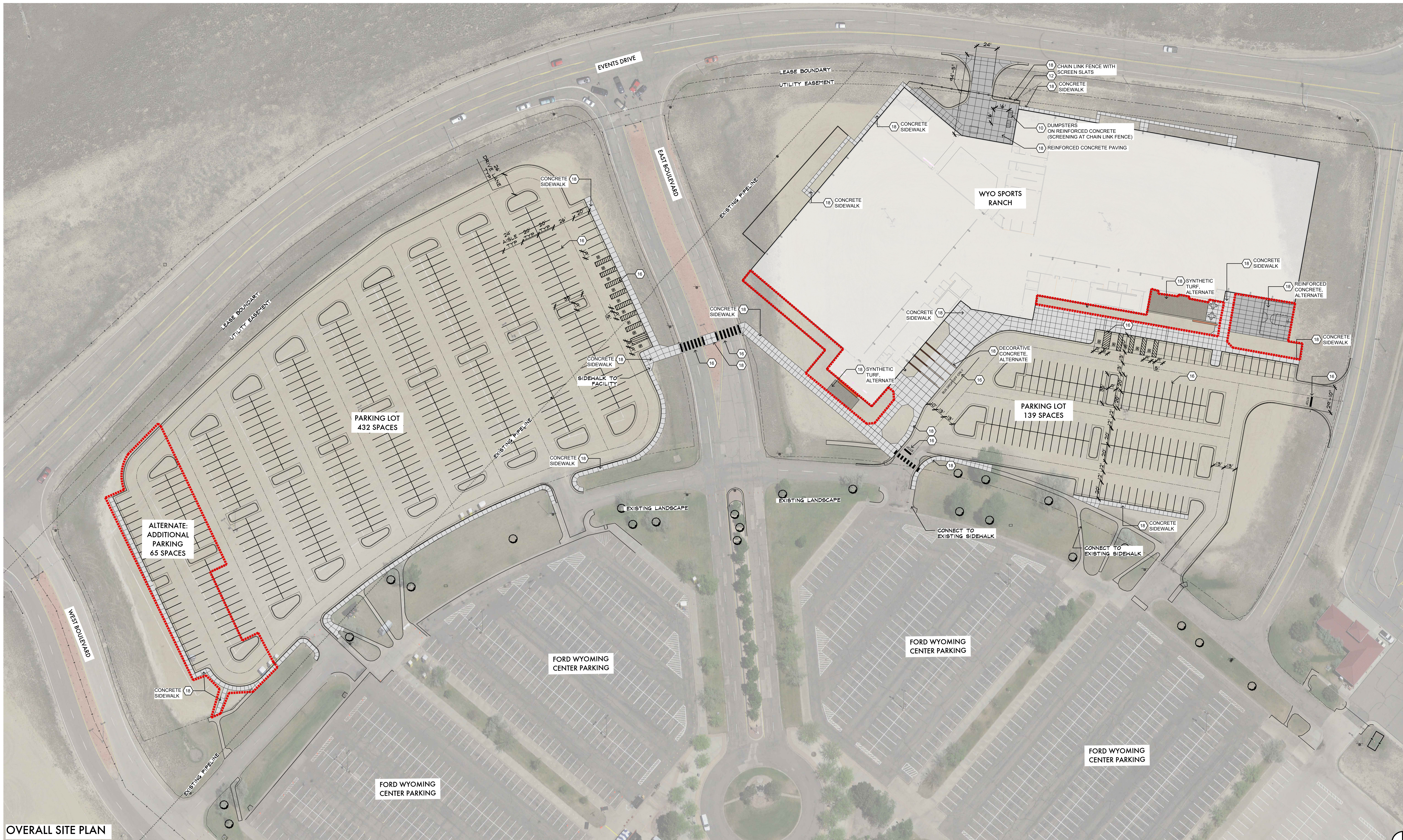
ITEM 21 F: PARKING SUMMARY

EXISTING PARKING:	N/A
REQUIRED PARKING SUMMARY:	571 SPACES *
* SPORTS CLUB DESIGNATION:	4.37 SPACES FOR EVERY 1,000 SF OF BUILDING
NO. OF SPACES PROPOSED	571
ADDITIONAL PARKING (ALT.)	65
EAST PARKING LOT:	
STANDARD PARKING SPACES	134
STANDARD ADA PARKING SPACES	4
ADA VAN PARKING SPACES	1
WEST PARKING LOT:	
STANDARD PARKING SPACES	423
STANDARD ADA PARKING SPACES	7
VAN PARKING SPACES	2
ADDITIONAL PARKING (ALT.)	65

PARKING SPACE DIMENSIONS	
STANDARD PARKING SPACE:	9'X20'
ADA PARKING SPACE:	9'X20' PLUS 60" AISLE
ADA VAN PARKING SPACE:	9'X20' PLUS 96" AISLE

ALTERNATE NOTES

SYMBOL	DESCRIPTION
	ALTERNATE AREAS NOTED ON PLANS INDICATE AREAS THAT ARE IN ADDITION TO CITY OF CASPER REQUIREMENTS AND MAY OR MAY NOT BE CONSTRUCTED AS SHOWN.



OVERALL SITE PLAN

IN PROGRESS
NOT FOR
CONSTRUCTION

TALIGRASS
TALIGRASS ARCHITECTURE
200 N. G. ST. # 200
CASPER, WYOMING 82401
PHONE: 307.234.1111
WWW.TALIGRASSARCHITECTURE.COM

WYO SPORTS RANCH
T.B.D.
CASPER, WYOMING 82601

Stateline No 7
ARCHITECTS
1020 N. G. ST. # 200
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PHONE: 307.234.1111
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PROJECT NUMBER
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DATE
FEB. 3, 2023

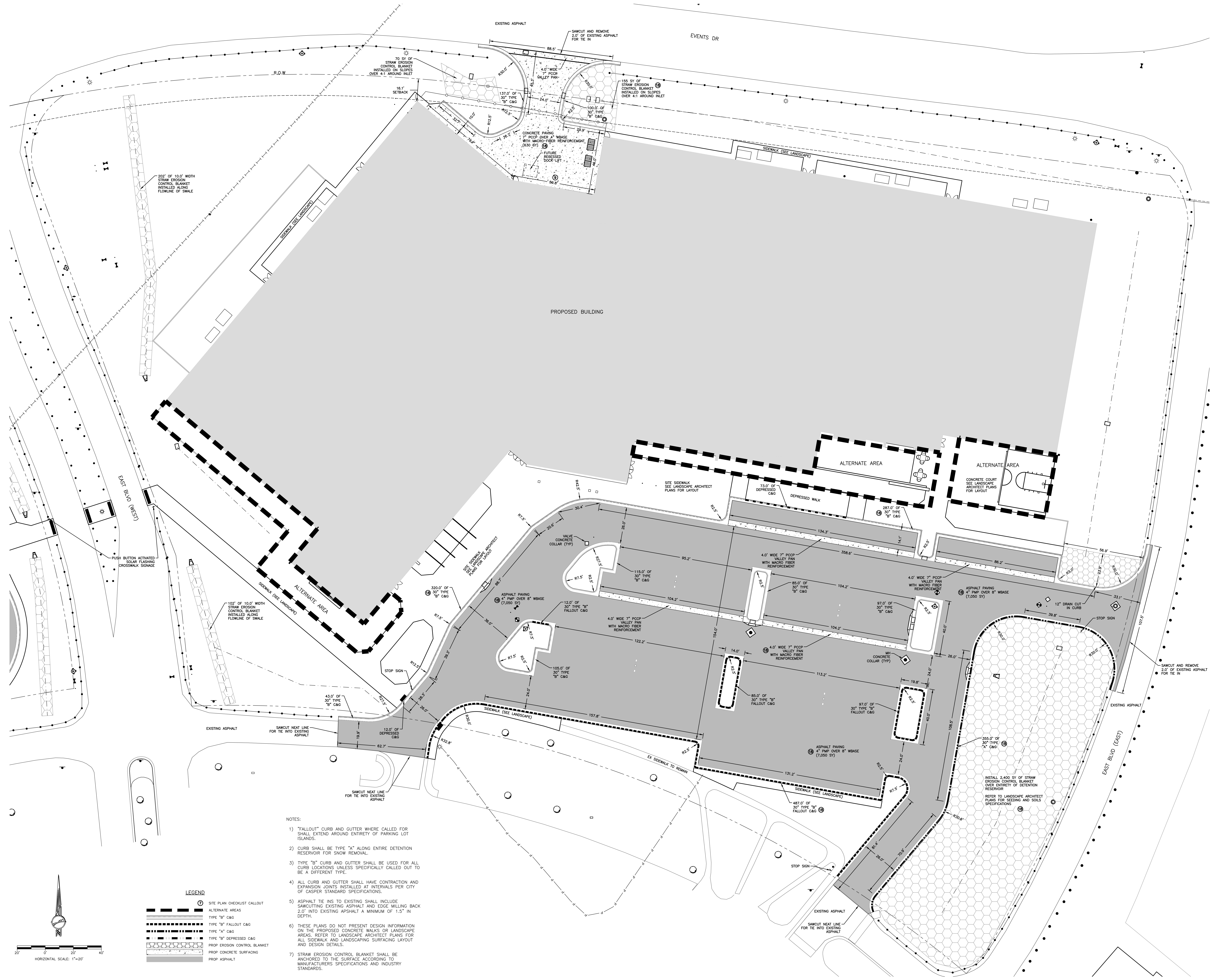
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Author

DISK ID.

SHEET TITLE
SHEET NAME
OVERALL SITE PLAN

SHEET NUMBER

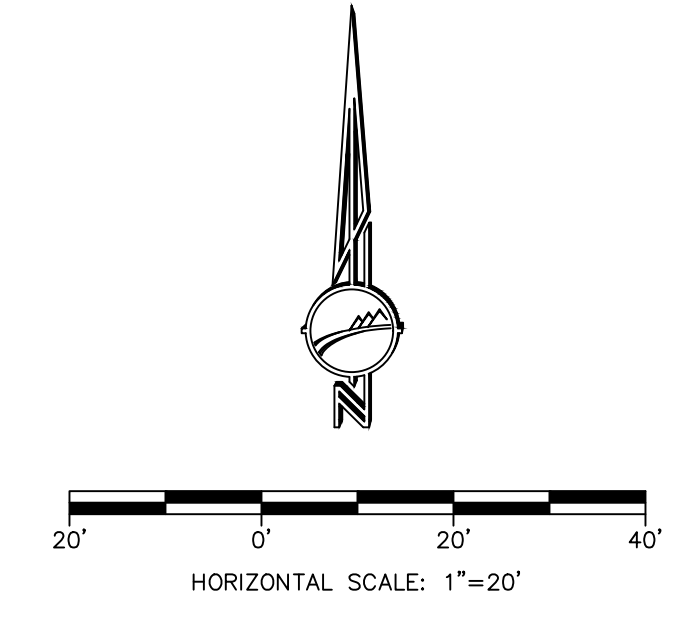
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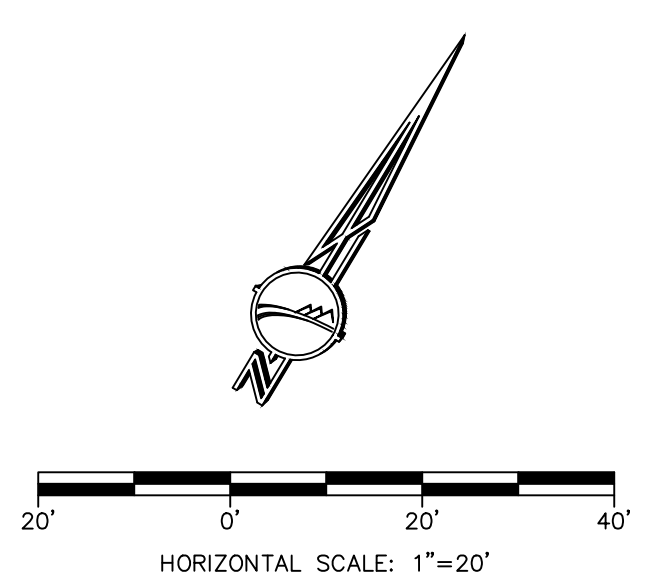
- NOTES:
- "FALLOUT" CURB AND GUTTER WHERE CALLED FOR SHALL EXTEND AROUND ENTIRETY OF PARKING LOT ISLANDS.
 - CURB SHALL BE TYPE "A" ALONG ENTIRE DETENTION RESERVOIR FOR SNOW REMOVAL.
 - TYPE "B" CURB AND GUTTER SHALL BE USED FOR ALL CURB LOCATIONS UNLESS SPECIFICALLY CALLED OUT TO BE A DIFFERENT TYPE.
 - ALL CURB AND GUTTER SHALL HAVE CONTRACTION AND EXPANSION JOINTS INSTALLED AT INTERVALS PER CITY OF CASPER STANDARD SPECIFICATIONS.
 - ASPHALT THE INS TO EXISTING SHALL INCLUDE SAWCUTTING EXISTING ASPHALT AND EDGE MILLING BACK 2.0" INTO EXISTING ASPHALT A MINIMUM OF 1.5" IN DEPTH.
 - THESE PLANS DO NOT PRESENT DESIGN INFORMATION ON THE PROPOSED CONCRETE WALKS OR LANDSCAPE AREAS. REFER TO LANDSCAPE ARCHITECT PLANS FOR ALL SIDEWALK AND LANDSCAPING SURFACING LAYOUT AND DESIGN DETAILS.
 - STRAW EROSION CONTROL BLANKET SHALL BE ANCHORED TO THE SURFACE ACCORDING TO MANUFACTURERS SPECIFICATIONS AND INDUSTRY STANDARDS.

LEGEND

(Symbol)	SITE PLAN CHECKLIST CALLOUT
(Symbol)	ALTERNATE AREAS
(Symbol)	TYPE "B" C&G
(Symbol)	TYPE "B" FALLOUT C&G
(Symbol)	TYPE "A" C&G
(Symbol)	TYPE "B" DEPRESSED C&G
(Symbol)	PROP EROSION CONTROL BLANKET
(Symbol)	PROP CONCRETE SURFACING
(Symbol)	PROP ASPHALT



- NOTES:
- "FALLOUT" CURB AND GUTTER WHERE CALLED FOR SHALL EXTEND AROUND ENTIRETY OF PARKING LOT ISLANDS.
 - CURB SHALL BE TYPE "A" ALONG THE ENTIRE NORTH END FOR SNOW REMOVAL.
 - TYPE "B" CURB AND GUTTER SHALL BE USED FOR ALL CURB LOCATIONS UNLESS SPECIFICALLY CALLED OUT TO BE A DIFFERENT TYPE.
 - ALL CURB AND GUTTER SHALL HAVE CONTRACTION AND EXPANSION JOINTS INSTALLED AT INTERVALS PER CITY OF CASPER STANDARD SPECIFICATIONS.
 - ASPHALT TIE INS TO EXISTING SHALL INCLUDE SAWCUTTING EXISTING ASPHALT AND EDGE MILLING BACK 2.0' INTO EXISTING ASPHALT A MINIMUM OF 1.5" IN DEPTH.
 - THESE PLANS DO NOT PRESENT SURFACING DESIGN INFORMATION ON THE PROPOSED CONCRETE WALKS OR LANDSCAPED AREAS. REFER TO LANDSCAPE ARCHITECT PLANS FOR ALL SIDEWALK AND LANDSCAPING SURFACING LAYOUT AND DESIGN DETAILS.
 - STRAW EROSION CONTROL BLANKET SHALL BE ANCHORED TO THE SURFACE ACCORDING TO MANUFACTURERS SPECIFICATIONS AND INDUSTRY STANDARDS.

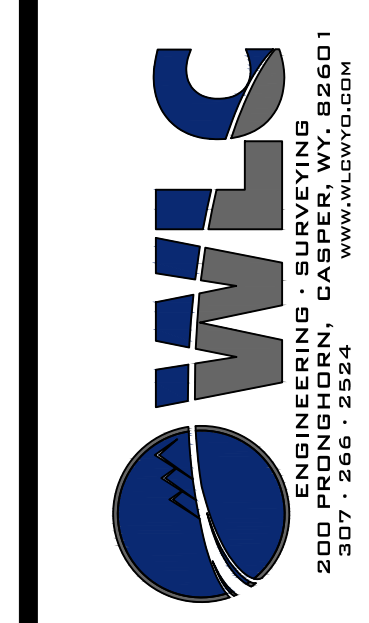
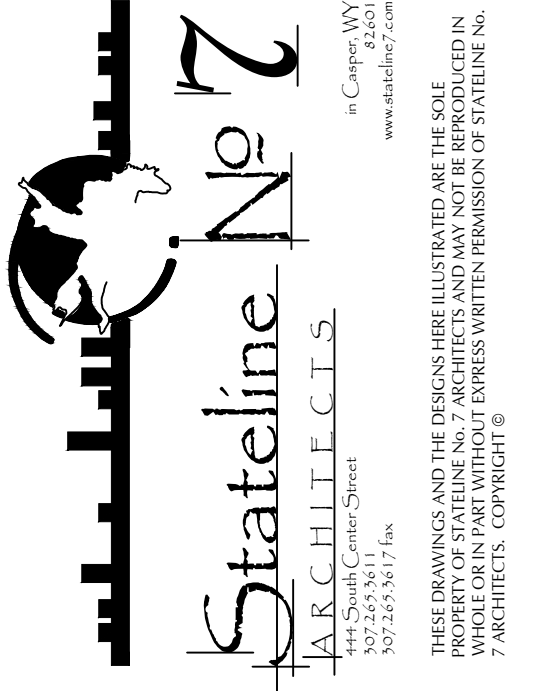


LEGEND

	SITE PLAN CHECKLIST CALLOUT
	ALTERNATE AREAS
	TYPE "B" C&G
	TYPE "B" FALLOUT C&G
	TYPE "A" C&G
	TYPE "B" DEPRESSED C&G
	PROP EROSION CONTROL BLANKET
	PROP CONCRETE SURFACING
	PROP ASPHALT



WYO SPORTS RANCH
T.R.D.
CASPER, WYOMING 82601



PROJECT NUMBER
21-007

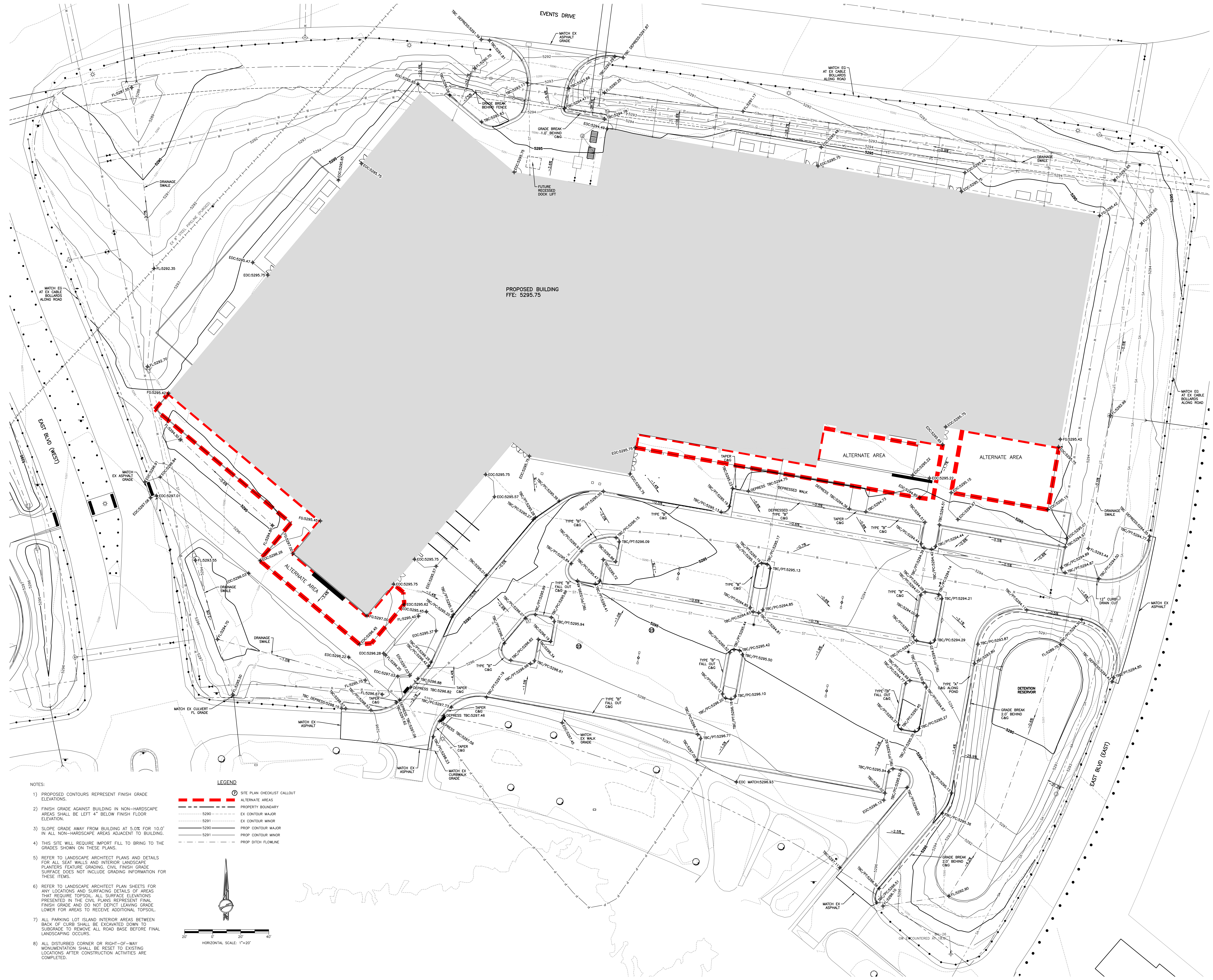
DATE
FEB. 3, 2023

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DISK ID.

SHEET TITLE
SURFACING PLAN WEST
(REVISED 2-23-23)

SHEET NUMBER



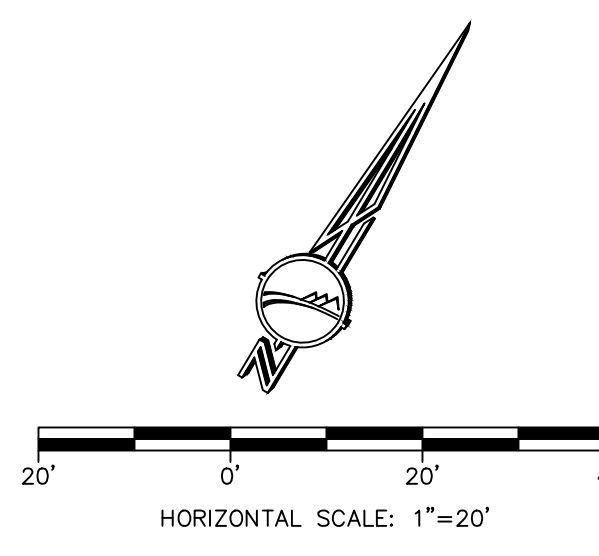
- NOTES:
- 1) PROPOSED CONTOURS REPRESENT FINISH GRADE ELEVATIONS.
 - 2) FINISH GRADE AGAINST BUILDING IN NON-HARDSCAPE AREAS SHALL BE LEFT 4" BELOW FINISH FLOOR ELEVATION.
 - 3) SLOPE GRADE AWAY FROM BUILDING AT 5.0% FOR 10.0' IN ALL NON-HARDSCAPE AREAS ADJACENT TO BUILDING.
 - 4) THIS SITE WILL REQUIRE IMPORT FILL TO BRING TO THE GRADES SHOWN ON THESE PLANS.
 - 5) REFER TO LANDSCAPE ARCHITECT PLANS AND DETAILS FOR ALL SEAT WALLS AND INTERIOR LANDSCAPE PLANTERS. FEATURE GRADING, CIVIL FINISH GRADE SURFACE DOES NOT INCLUDE GRADING INFORMATION FOR THESE ITEMS.
 - 6) REFER TO LANDSCAPE ARCHITECT PLAN SHEETS FOR ANY LOCATIONS AND SURFACING DETAILS OF AREAS THAT REQUIRE TOPSOIL. ALL SURFACE ELEVATIONS PRESENTED IN THE CIVIL PLANS REPRESENT FINAL FINISH GRADE AND DO NOT DEFLECT LEAVING GRADE LOWER FOR AREAS TO RECEIVE ADDITIONAL TOPSOIL.
 - 7) ALL PARKING LOT ISLAND INTERIOR AREAS BETWEEN BACK OF CURB SHALL BE EXCAVATED DOWN TO SUBGRADE TO REMOVE ALL ROAD BASE BEFORE FINAL LANDSCAPING OCCURS.
 - 8) ALL DISTURBED CORNER OR RIGHT-OF-WAY MONUMENTATION SHALL BE RESET TO EXISTING LOCATIONS AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED.

LEGEND

- ALTERNATE AREAS
- PROPERTY BOUNDARY
- EX CONTOUR MAJOR
- EX CONTOUR MINOR
- PROP CONTOUR MAJOR
- PROP CONTOUR MINOR
- PROP DITCH FLOWLINE
- SITE PLAN CHECKLIST CALLOUT
- ALTERNATE AREAS

HORIZONTAL SCALE: 1"=20'

- NOTES:
- 1) PROPOSED CONTOURS REPRESENT FINISH GRADE ELEVATIONS.
 - 2) THIS SITE WILL REQUIRE IMPORT FILL TO BRING TO THE GRADES SHOWN ON THESE PLANS.
 - 3) REFER TO LANDSCAPE ARCHITECT PLANS AND DETAILS FOR ALL LANDSCAPE ISLAND PLANTERS INTERIOR GRADING. CIVIL FINISH GRADE SURFACE DOES NOT INCLUDE GRADING INFORMATION FOR THESE ITEMS.
 - 4) REFER TO LANDSCAPE ARCHITECT PLAN SHEETS FOR ANY LOCATIONS AND SURFACING DETAILS OF AREAS THAT REQUIRE TOPSOIL. ALL SURFACE ELEVATIONS PRESENTED IN THE CIVIL PLANS REPRESENT FINAL FINISH GRADE AND DO NOT DEPICT LEAVING GRADE LOWER FOR AREAS TO RECEIVE ADDITIONAL TOPSOIL.
 - 5) ALL PARKING LOT ISLAND INTERIOR AREAS BETWEEN BACK OF CURB SHALL BE EXCAVATED DOWN TO SUBGRADE TO REMOVE ALL ROAD BASE BEFORE FINAL LANDSCAPING OCCURS.
 - 6) ALL DISTURBED CORNER OR RIGHT-OF-WAY MONUMENTATION SHALL BE RESET TO EXISTING LOCATIONS AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED.



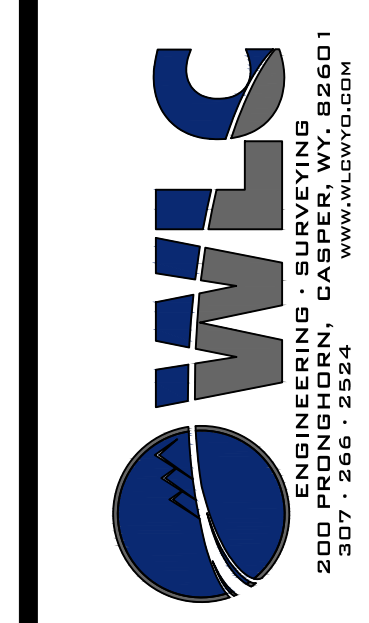
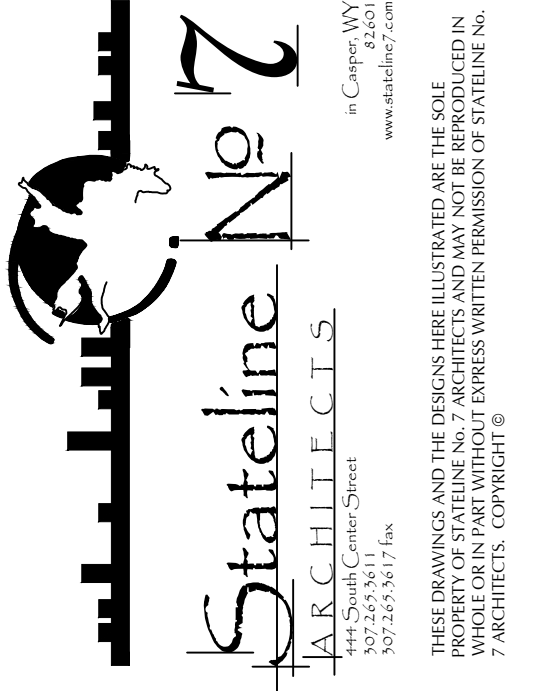
LEGEND

(Symbol: Circle with checkmark)	SITE PLAN CHECKLIST CALLOUT
(Symbol: Dashed red line)	ALTERNATE AREAS
(Symbol: Solid red line)	PROPERTY BOUNDARY
(Symbol: Dashed line)	EX CONTOUR MAJOR
(Symbol: Dotted line)	EX CONTOUR MINOR
(Symbol: Solid line)	PROP CONTOUR MAJOR
(Symbol: Dashed line)	PROP CONTOUR MINOR
(Symbol: Dotted line)	PROP DITCH FLOWLINE



IN PROGRESS
NO FOR
CONSTRUCTION

WYO SPORTS RANCH
T.R.D.
CASPER, WYOMING 82601



PROJECT NUMBER
21-007

DATE
FEB. 3, 2023

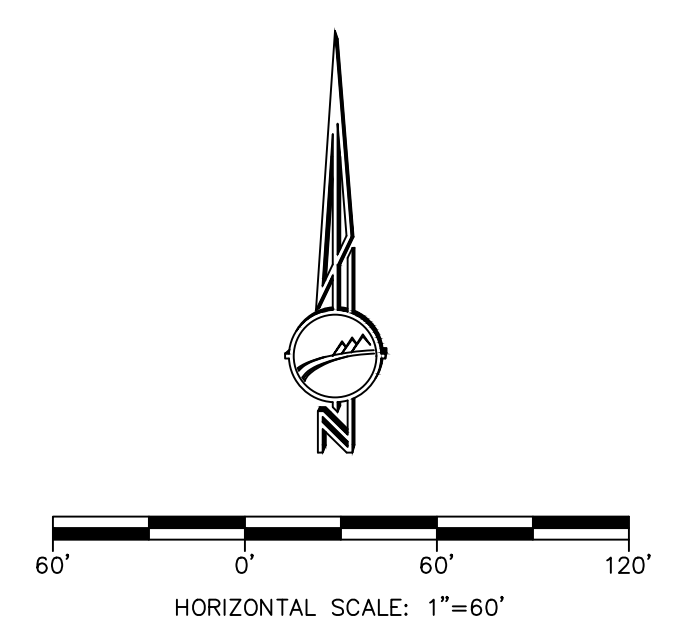
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DISK ID.

SHEET TITLE
GRADING PLAN
WEST

SHEET NUMBER

1.17

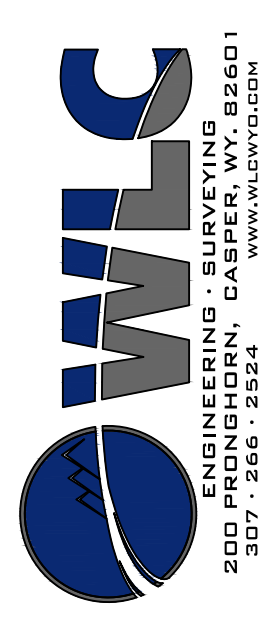
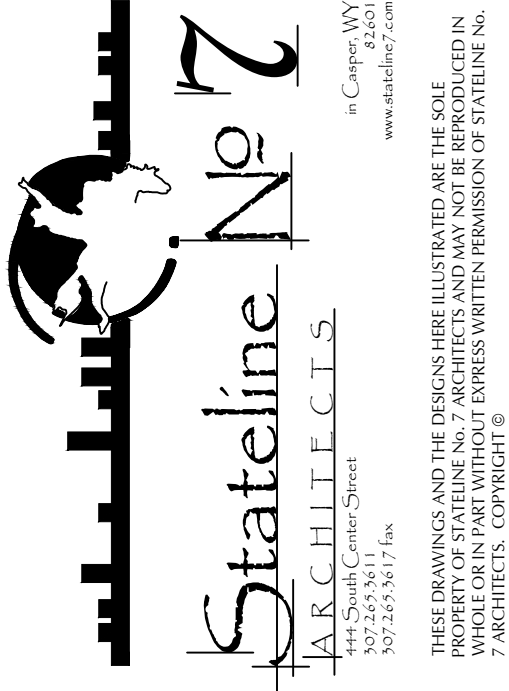


LEGEND

- ① SITE PLAN CHECKLIST CALLOUT
- ⊖ EX SANITARY MANHOLE
- ⊖ EX WATER VALVE
- ⊖ PROP SANITARY MANHOLE
- ⊖ PROP STORM MANHOLE
- ⊖ PROP STORM INLET
- ⊖ PROP STORM FLARED END
- ⊖ PROP WATER VALVE
- ⊖ PROP FIRE HYDRANT
- P — POWERLINE
- G — GAS
- ST — EX STORM SEWER
- SA — EX SANITARY SEWER
- W — EX WATERLINE
- ST — PROP STORM SEWER
- SA — PROP SANITARY SEWER
- W — PROP WATERLINE

- NOTES:
- 1) ALL EXISTING UTILITIES MAY NOT BE SHOWN ON THIS PLAN. LOCATION OF EXISTING UTILITIES SHOWN ON THIS PLAN MAY DIFFER FROM ACTUAL FIELD CONDITIONS. LOCATIONS REPRESENTED ON THIS SHEET WERE ACQUIRED FROM ON-SITE SURVEY OF VISIBLE UTILITIES, RECORDS PROVIDED BY OWNER, AND FIELD LOCATES. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO WORK.
 - 2) ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF CASPER STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
 - 3) NEW WATER AND SANITARY SEWER MAIN LINES SHALL BE OWNED BY CITY OF CASPER.
 - 4) NEW STORM SYSTEM SERVING THIS DEVELOPMENT WILL BE PRIVATELY OWNED AND MAINTAINED.

WYO SPORTS RANCH
T.R.D.
CASPER, WYOMING 82601



PROJECT NUMBER
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DATE
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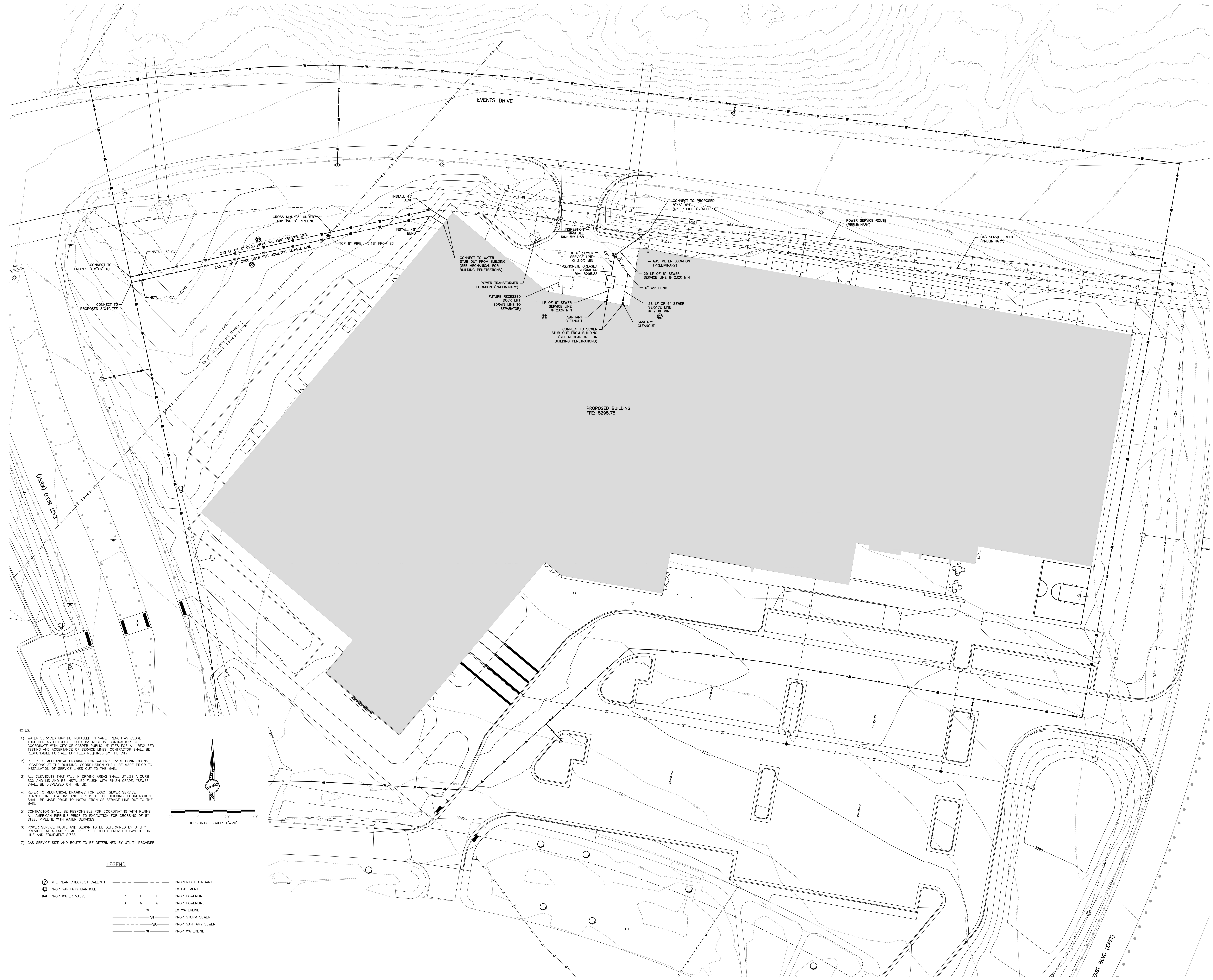
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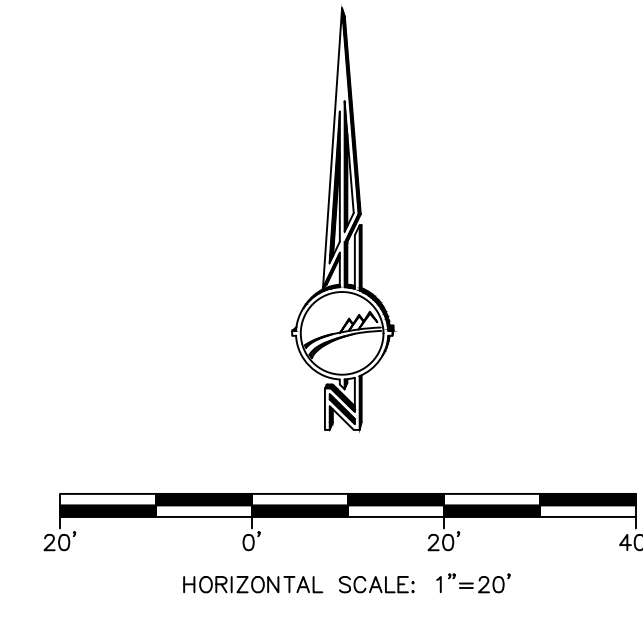
SHEET TITLE
PROPOSED
UTILITIES
OVERALL LAYOUT
(REVISED 2-23-23)

SHEET NUMBER

1.20



- NOTES:
- 1) WATER SERVICES MAY BE INSTALLED IN SAME TRENCH AS CLOSE TOGETHER AS PRACTICAL FOR CONSTRUCTION. CONTRACTOR TO COORDINATE WITH CITY OF CASPER PUBLIC UTILITIES FOR ALL REQUIRED TESTING AND ACCEPTANCE OF SERVICE LINES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THE FEES REQUIRED BY THE CITY.
 - 2) REFER TO MECHANICAL DRAWINGS FOR WATER SERVICE CONNECTIONS LOCATIONS AT THE BUILDING. COORDINATION SHALL BE MADE PRIOR TO INSTALLATION OF SERVICE LINES OUT TO THE MAIN.
 - 3) ALL CLEANOUTS THAT FALL IN DRIVING AREAS SHALL UTILIZE A CURB BOX AND LID AND BE INSTALLED FLUSH WITH FINISH GRADE. "SEWER" SHALL BE DISPLAYED ON THE LID.
 - 4) REFER TO MECHANICAL DRAWINGS FOR EXACT SEWER SERVICE CONNECTION LOCATIONS AND DEPTHS AT THE BUILDING. COORDINATION SHALL BE MADE PRIOR TO INSTALLATION OF SERVICE LINE OUT TO THE MAIN.
 - 5) CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH PLANS ALL AMERICAN PIPELINE PRIOR TO EXCAVATION FOR CROSSING OF 8" STEEL PIPELINE WITH WATER SERVICES.
 - 6) POWER SERVICE ROUTE AND DESIGN TO BE DETERMINED BY UTILITY PROVIDER AT A LATER TIME. REFER TO UTILITY PROVIDER LAYOUT FOR LINE AND EQUIPMENT SIZES.
 - 7) GAS SERVICE SIZE AND ROUTE TO BE DETERMINED BY UTILITY PROVIDER.



LEGEND

⊙	SITE PLAN CHECKLIST CALLOUT	---	PROPERTY BOUNDARY
○	PROP SANITARY MANHOLE	- - - -	EX EASEMENT
⊕	PROP WATER VALVE	P - P - P	PROP POWERLINE
		G - G - G	PROP POWERLINE
		W - W - W	EX WATERLINE
		ST - ST - ST	PROP STORM SEWER
		SA - SA - SA	PROP SANITARY SEWER
		W - W - W	PROP WATERLINE

ITEM 18: LANDSCAPE SURFACING LEGEND

SYMBOL	DESCRIPTION	QUANTITIES
	GREAT PLAINS MIX MILLBORN SEEDS HEIGHT: LESS THAN 12" MIX: 25% CHEVINGS FESCUE, 25% SHEEPS FESCUE, 25% HARD FESCUE, 10% BLUE GRAMA, 10% ANNUAL RYEGRASS, 5% BUFFALO GRASS.	186,526 SF
	LITTLE COUNTRY MIX MILLBORN SEEDS HEIGHT: 2'-3" MIX: 31% LITTLE BLUESTEM, 31% SIDEWATS GRAMA, 16% BLUE GRAMA, 8% PRAIRIE JUNEGRASS, 5% SAND DROPSSEED, 5% SLENDER WHIATGRASS, 4% VIRGINIA WILDRYE	9,822 SF
	MINERAL MULCH RIVER ROCK 2'-4" WASHED	16,383 SF

ITEM 21 M: LANDSCAPE QUANTITIES

DESCRIPTION	QUANTITIES
WEST SITE	6.73 ACRES 277,470.2 SF
8% OF TOTAL WEST SITE REQUIRED PROVIDED	16,648.63 SF
ADDITIONAL PLANTING (ALTERNATES) NON-IRRIGATED	18,581 SF
13,500	60,247 SF
EAST SITE	8.4 ACRES 365,904 SF
6 % OF TOTAL EAST SITE REQUIRED PROVIDED	21,954.24 SF
ADDITIONAL PLANTING (ALTERNATES) NON-IRRIGATED	23,216 SF
7,758 SF	136,604 SF

ALTERNATE NOTES

SYMBOL	DESCRIPTION
	ALTERNATE AREAS NOTED ON PLANS INDICATE AREAS THAT ARE IN ADDITION TO CITY OF CASPER REQUIREMENTS AND MAY OR MAY NOT BE CONSTRUCTED AS SHOWN.

SEEDING NOTES

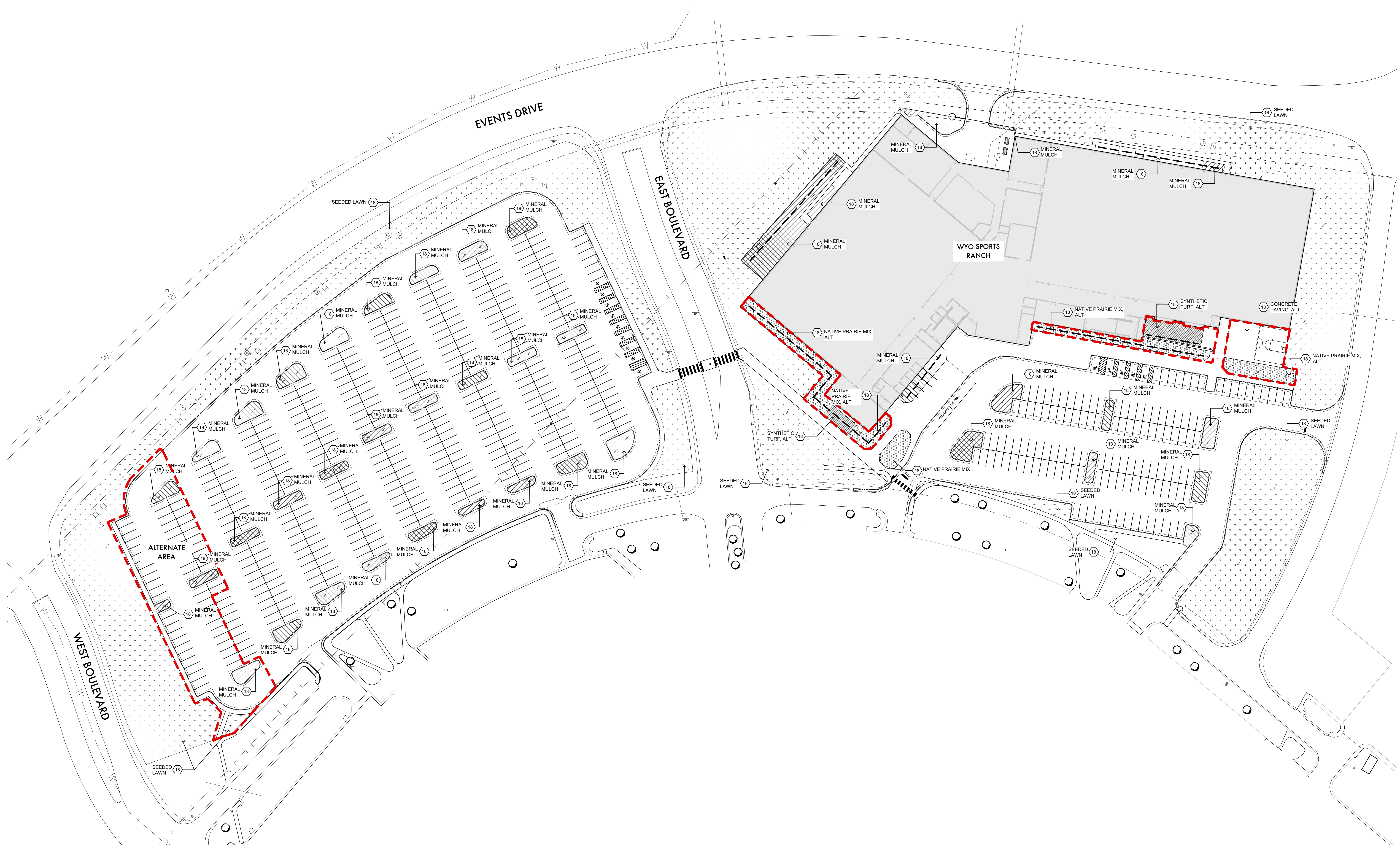
- GENERAL NOTES:**
- SOIL IN ALL AREAS TO BE SEEDED SHALL BE CLEARED OF WEEDS, LITTER, DEBRIS, ETC. AMENDED AND FINE GRADED AS DESCRIBED ON PLAN PRIOR TO COMMENCING SEEDING OPERATIONS.
 - CAREFULLY MAINTAIN AN EVEN FINISHED GRADE TO INSURE PROPER SURFACE DRAINAGE, WITH RIDGES AND DEPRESSIONS REMOVED. ALL AREAS SHALL BE FREE DRAINING.
 - ALL AREAS WHICH ARE COMPLETE (I.E. FINISHED SLOPES) WILL BE SEEDED PER SPECIFICATIONS WILL RECEIVE HYDROMULCH WITH TACKIFIER.
 - LIMITS OF WORK SHOWN ARE APPROXIMATE. THE INTENT IS TO SEED ANY DISTURBED AREAS DUE TO UTILITY OR GENERAL CONSTRUCTION AS COORDINATED WITH OWNER. ALL DISTURBED AREAS STEEPER THAN 5:1 SHALL BE COVERED WITH A PROTECTIVE MATTING AFTER SEEDING.
 - HYDROMULCH WATER: MUST BE OF ACCEPTABLE AGRICULTURAL QUALITY. FREE OF TOXIC INGREDIENTS OR OTHER FACTORS THAT INHIBIT PLANT GROWTH OR GERMINATION. USE 1,500 TO 3,000 GALLONS PER ACRE, AS NEEDED.
 - SEED MIX: PER LEGEND. SEED MUST BE IN ORIGINAL UNOPENED CONTAINERS, DISPLAYING LABEL WHICH GUARANTEES FREEDOM FROM UNOPENED CONTAINERS, DISPLAYING LABEL, WHICH GUARANTEES FREEDOM FROM NOXIOUS WEED SEEDS, A MINIMUM OF 85% PURE LIVE SEED, AND A MINIMUM GERMINATION RATE OF 85%.

SHORT GRASS PRAIRIE MAINTENANCE

- YEAR ONE OF PRAIRIE MAINTENANCE:
 - PRAIRIE SEEDINGS OFTEN GROW SLOWLY THE FIRST YEAR. TO CONTROL WEEDS, MOW THE PRAIRIE AREA WHEN WEEDS REACH 6" TALL.
 - NEVER ALLOW WEEDS TO GROW TALLER THAN 1'
 - DO NOT HAND WEED - PULLING WEEDS CAN DISTURB DELICATE SEEDINGS. DO NOT MOW WHEN SOILS OR PLANTS ARE WET.
- YEAR TWO OF PRAIRIE MAINTENANCE:
 - PLANTS CAN BE EXPECTED TO GROW LARGER IN THE SECOND YEAR.
 - MOW THE ENTIRE MEADOW WHEN WEEDS REACH A HEIGHT OF 1'
 - BIENNIAL WEEDS SHOULD BE MOWED WHEN IN FULL BLOOM, BUT BEFORE SETTING SEED. HAND WEED CAREFULLY AND ONLY IF NECESSARY TO REMOVE WEEDS BEFORE SEEDS ARE SET.
- YEAR THREE OF PRAIRIE MAINTENANCE:
 - MATURE PRAIRIE CAN BE MAINTAINED IN A VARIETY OF WAYS: MOWING, PRESCRIBED BURNING, GRAZING OR HAYING, PULLING WEEDS, SELECTIVE HERBICIDES FOR PROBLEM WEED AREAS.
 - MOW IF THE PRAIRIE IS BECOMING ENCLOSED UPON BY TREES AND SHRUBS OR IF BURNING IS NOT POSSIBLE OR DESIRABLE.
 - WEEDS MAY BE PULLED BEGINNING IN THE SECOND YEAR OF THE PRAIRIE ESTABLISHMENT.
 - PULL OR CUT BIENNIAL WEEDS AT THE BASE. PULL OR DIG TAP-ROOTED WEEDS TO REMOVE ALL WEED BIOMASS - BROKEN ROOTS WILL ONLY GROW A NEW WEED TO PULL.
 - HERBICIDES ARE RECOMMENDED ONLY WHEN APPLYING TO CAREFULLY TO INDIVIDUAL PLANTS. SPRAYING AREAS WILL ONLY KILL DESIRABLE PLANTS AND CREATE AN OPENING FOR MORE WEEDS.
 - OTHER NATIVE LANDSCAPES CAN BE MAINTAINED IN A SIMILAR WAY WITH THE EXCEPTION OF BURNING. THE GOAL IS TO PROMOTE THE GROWTH OF DESIRED PLANTS ABOVE WEEDS. WITHIN SEVERAL YEARS, THE DESIRED PLANTS WILL COLONIZE THE AREA COMPLETELY, EFFECTIVELY OUT-COMPETING WEEDS. FERTILIZER IS NOT RECOMMENDED FOR MEADOWS OR NATIVE PLANTINGS UNLESS EXTREME SOIL CONDITIONS, SUCH AS SOIL STERILITY, ARE PRESENT.

LANDSCAPE SURFACING NOTES

- MULCH INSTALLATION SHALL COMMENCE ONLY AFTER AREA SOIL PREPARATIONS HAVE BEEN CONFIRMED AND VERIFIED BY ARCHITECT.
- MINERAL MULCH SHALL BE APPROVED BY THE ARCHITECT BY VISUAL OR PHOTOGRAPHIC INSPECTION PRIOR TO DELIVERY AND INSTALLATION.
- NO FABRIC SHALL BE VISIBLE AT ANY POINT OF THE SITE BENEATH THE MULCH UNLESS IT IS ADJACENT TO A PLANT AND ONLY THERE WITHIN THE CLEAR ZONE.
- MULCHES SHALL BE PULLED BACK THREE INCHES FROM THE STEM OF ALL PLANTS.
- CONTRACTOR SHALL CLEAN AND PROTECT WALKS AS WORK PROCEEDS TO AVOID BREAKING AND SCARRING FINISHED SURFACES.



LANDSCAPE SURFACING PLAN

IN PROGRESS
NO FOR
CONSTRUCTION



WYO SPORTS RANCH
T.B.D.
CASPER, WYOMING 82601



PROJECT NUMBER
21-007

DATE
FEB. 3, 2023

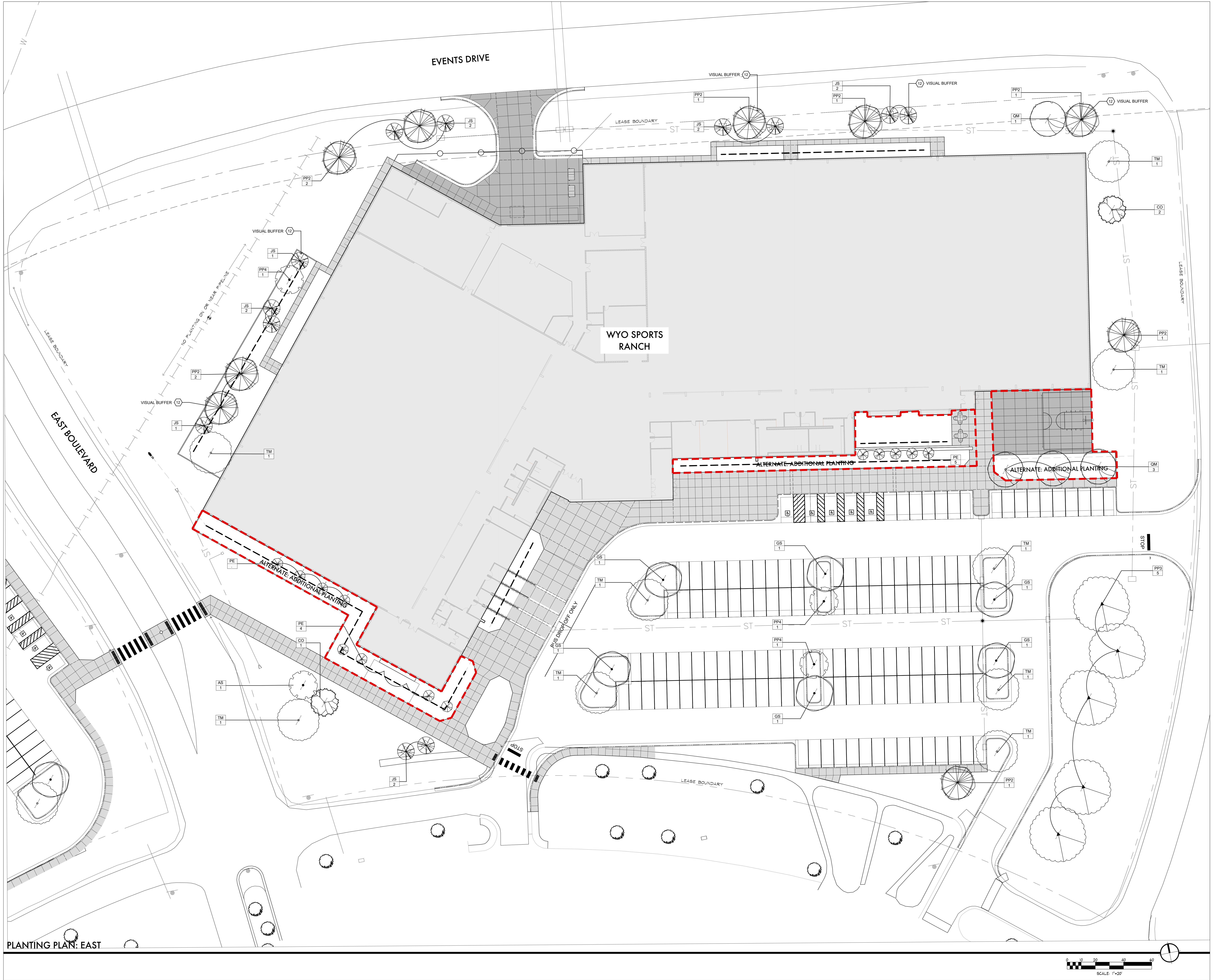
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Author

DISK ID.

SHEET TITLE
SHEET NAME
LANDSCAPE
SURFACING PLAN

SHEET NUMBER

1.50



PLANTING PLAN: EAST



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NOT FOR
CONSTRUCTION

TALGRASS
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400 N. 10TH ST. SUITE 100
CASPERS, WYOMING 82501
TEL: 307.234.1111
WWW.TALGRASSLANDSCAPEARCHITECTURE.COM

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PROJECT NUMBER
21-007

DATE
FEB. 3, 2023

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Author

DISK ID.

SHEET TITLE
SHEET NAME
TREE PLANTING
PLAN- EAST

SHEET NUMBER

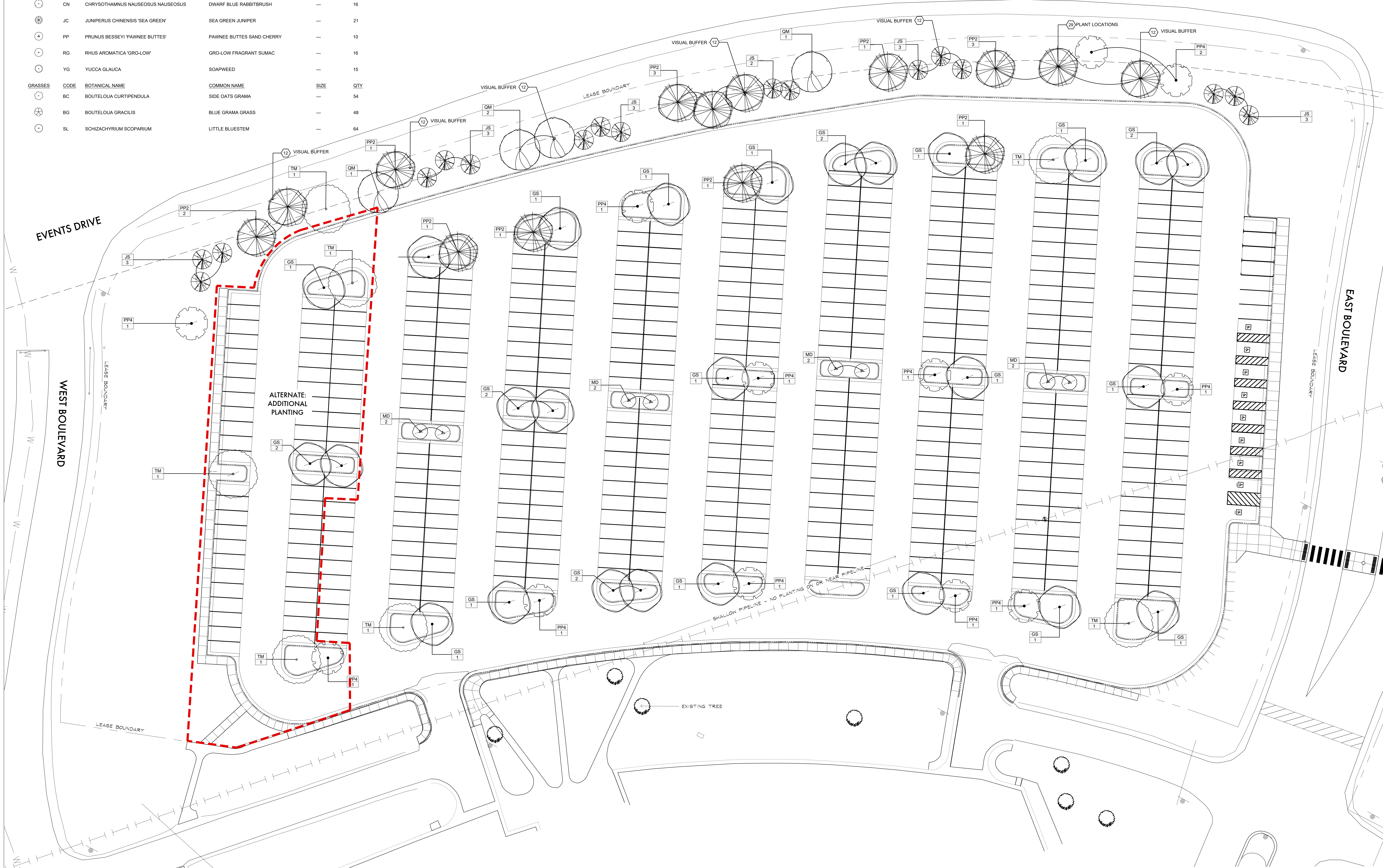
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PROJECT PLANT SCHEDULE

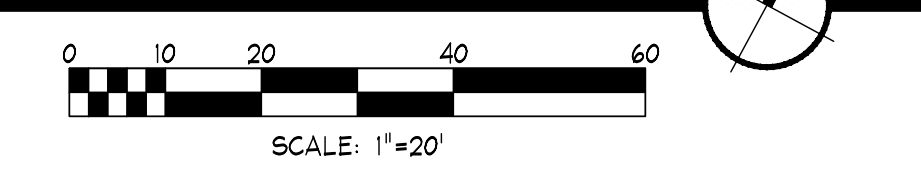
TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	CO	CELTIS OCCIDENTALIS	COMMON HACKBERRY	---	2
	GS	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	1.5" CAL	32
	JS	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	---	29
	MD	MALUS X ADSTRINGENS 'DURLEO'	GLADIATOR™ CRABAPPLE	---	8
	PP2	PINUS PONDEROSA	PONDEROSA PINE	---	23
	PP3	POPULUS SARAGENTII 'JERONIMUS'	SARGENT STRAIGHT PLAINS COTTONWOOD	---	5
	PE	POPULUS TREMULA 'ERECTA'	SWEDISH COLUMNAR ASPEN	---	13
	PP4	PRUNUS X VIRGINIANA 'PO2S'	SUCKER PUNCH® RED CHOKECHERRY	---	16
	QM	QUERCUS MACROCARPA	BUR OAK	---	8
	TM	TILIA MONGOLICA 'HARVEST GOLD'	HARVEST GOLD LINDEN	---	16
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	CN	CHRYSOTHAMNUS NAUSEOSUS NAUSEOSUS	DWARF BLUE RABBITBRUSH	---	16
	JC	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	---	21
	PP	PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	---	10
	RG	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	---	16
	YG	YUCCA GLAUCA	SOAPWEED	---	15
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	BC	BOUTELOUA CURTIPENDULA	SIDE OATS GRAMA	---	54
	BG	BOUTELOUA GRACILIS	BLUE GRAMA GRASS	---	48
	SL	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	---	64

PLANTING NOTES:

- GENERAL PLANTING REQUIREMENTS**
- SEE DETAIL SHEET FOR LANDSCAPE AND PLANTING DETAILS & SEE PROJECT MANUAL FOR LANDSCAPE SPECIFICATIONS.
 - THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION. SOURCE OF BASE SHEETS IS PROJECT ARCHITECTS AND ENGINEER. THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS INFORMATION OR THE INDIVIDUAL OMISSION OF ANY SUCH INFORMATION. THE CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT (U.S.A.) AT (800)277-2600 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION FOR MARKOUTS OF EXISTING UNDERGROUND FACILITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO ANY UTILITIES CAUSED BY HISHER PROJECT OPERATIONS. NO CONSTRUCTION SHALL COMMENCE WITHOUT PRIOR APPROVAL OF THE SUPERVISING LANDSCAPE ARCHITECT, ENGINEER OR ARCHITECT.
 - THE CONTRACTOR SHALL MAINTAIN REASONABLE ACCESS TO ALL PRIVATE DRIVEWAYS, PARKING AREAS AND AREAS THAT REQUIRE PUBLIC ACCESS DURING CONSTRUCTION.
 - REFER TO CIVIL ENGINEER'S UTILITY AND GRADING AND DRAINAGE PLANS FOR UTILITY LOCATION AND DRAINAGE INFORMATION. REFER TO CIVIL ENGINEER'S GRADING PLANS FOR GRADING INFORMATION. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS OR IF THERE ARE DISCREPANCIES BETWEEN THE PLANS, CONTACT THE LANDSCAPE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED.
 - VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT LANDSCAPE ARCHITECT FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
 - CONTACT THE LOCAL UNDERGROUND UTILITY SERVICES FOR UTILITY LOCATION PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND IF NECESSARY, BY HAND. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
- SCHEDULING**
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PLANT MATERIALS A MINIMUM OF 90 DAYS PRIOR TO SCHEDULED PLANTING. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS TO BE CONTRACT GROWN OR OTHERWISE OBTAINED FROM A CERTIFIED NURSERY. NOTIFY LANDSCAPE ARCHITECT OF ALL PLANT MATERIAL "TIED OFF" FOR THE OPTION OF REVIEWING FOR APPROVAL AT THE CONTRACTOR'S SELECTED NURSERY.
 - IF SPECIFIED MATERIAL IS NOT OBTAINABLE, SUBMIT TO LANDSCAPE ARCHITECT PROOF OF NON-AVAILABILITY AND PROPOSAL FOR USE OF EQUIVALENT MATERIAL. SUBMIT PHOTOGRAPHS OF ALTERNATIVE CHOICES OF PLANT MATERIAL FOR SELECTION BY LANDSCAPE ARCHITECT. INCLUDED WITH THESE PHOTOGRAPHS SHOULD BE CLEAR, WRITTEN DESCRIPTION OF THE TYPE, SIZE, CONDITION, AND GENERAL CHARACTER OF THE PLANT MATERIAL.
- SOIL CONDITIONING**
- ALL PLANTING ISLANDS REQUIRE REMOVAL OF SITE BACK FILL, BASE MATERIAL, AND OTHER CONSTRUCTION WASTE MATERIAL TO EARTHEN SUBGRADE, EXCEPT WITHIN 12" OF CURB. SCARIFY THE EARTHEN SUBGRADE AND FILL TO 12" OF FINISHED GRADE WITH SITE TOPSOIL. THE REMAINDER SHALL BE PLANTED SOIL, AS SPECIFIED.
 - SEE SOIL CONDITIONING AND LANDSCAPE SURFACING PLAN FOR SOIL REQUIREMENTS AND FINISHED SURFACING.
 - TOP SOIL FROM THE SITE IS ACCEPTABLE FOR REUSE AS TOPSOIL.
- PLANTING**
- QUANTITIES SHOWN IN THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR & FOR OWNER INFORMATION. CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE QUANTITY OF PLANTS SHOWN GRAPHICALLY ON THE PLANS. IN THE CASE OF A DISCREPANCY, THE PLANS SHALL OVERRULE THE LEGEND, EXCEPT PLANTS SPECIFICALLY NOTED AS "NOT SHOWN ON PLAN." VERIFY PLANT COUNTS AND SQUARE FOOTAGES.
 - EXACT LOCATIONS OF PLANT MATERIALS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
 - TREES SHALL BEAR SAME RELATION TO FINISHED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE TRANSPLANTING.
 - TREES TO BE PLANTED A MINIMUM OF 4 FEET FROM FACE OF BUILDING, OR PAVEMENT, EXCEPT AS APPROVED BY LANDSCAPE ARCHITECT.
 - PROVIDE MATCHING FORMS AND SIZES FOR PLANT MATERIALS WITHIN EACH SPECIES AND SIZE DESIGNATED ON THE DRAWINGS.
 - PRUNE NEWLY PLANTED TREES ONLY AS DIRECTED BY LANDSCAPE ARCHITECT.
 - ALIGN AND EQUALLY SPACE IN ALL DIRECTIONS TREES AND SHRUBS SO DESIGNATED PER THESE NOTES AND DRAWINGS.
 - FINISH GRADES OF PLANTER AREAS SHALL BE 2 INCHES BELOW ADJACENT PAVING OR TOP OF WALL UNLESS OTHERWISE NOTED.
 - REMOVE ENTIRE WIRE CAGE FROM ROOTBALL. CUT AND REMOVE BURFLAP FROM TOP 1/3 OF BALL.
 - LANDSCAPE ARCHITECT TO REVIEW PLANT MATERIALS AT SOURCE OR BY PHOTOGRAPHS PRIOR TO DIGGING OR SHIPPING OF PLANT MATERIALS.
 - OTHER MATERIALS
 - PLACE ROCK MULCH IN A MANNER THAT MINIMIZES RISK TO PLANTED MATERIAL. DAMAGE FROM MULCH PLACEMENT WILL REQUIRE REPLACEMENT OF DAMAGED MATERIAL.
 - PROVIDE SPECIFIED EDGING AS SHOWN.



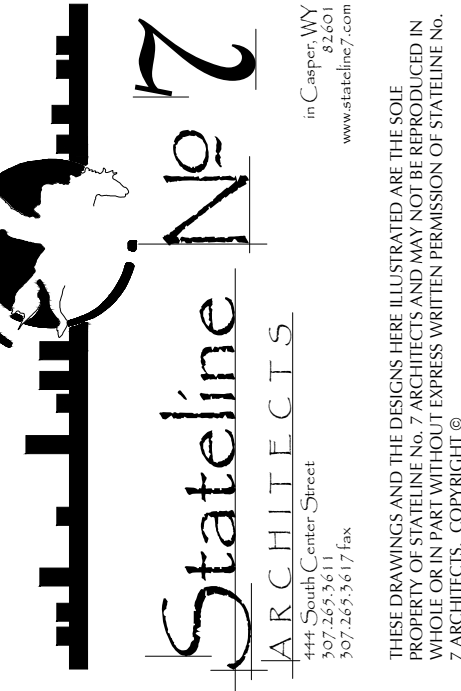
PLANTING PLAN: WEST



IN PROGRESS
NO FOR
CONSTRUCTION



WYO SPORTS RANCH
T.B.D.
CASPER, WYOMING 82601



PROJECT NUMBER
21-007

DATE
FEB. 3, 2023

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Author

DISK ID.

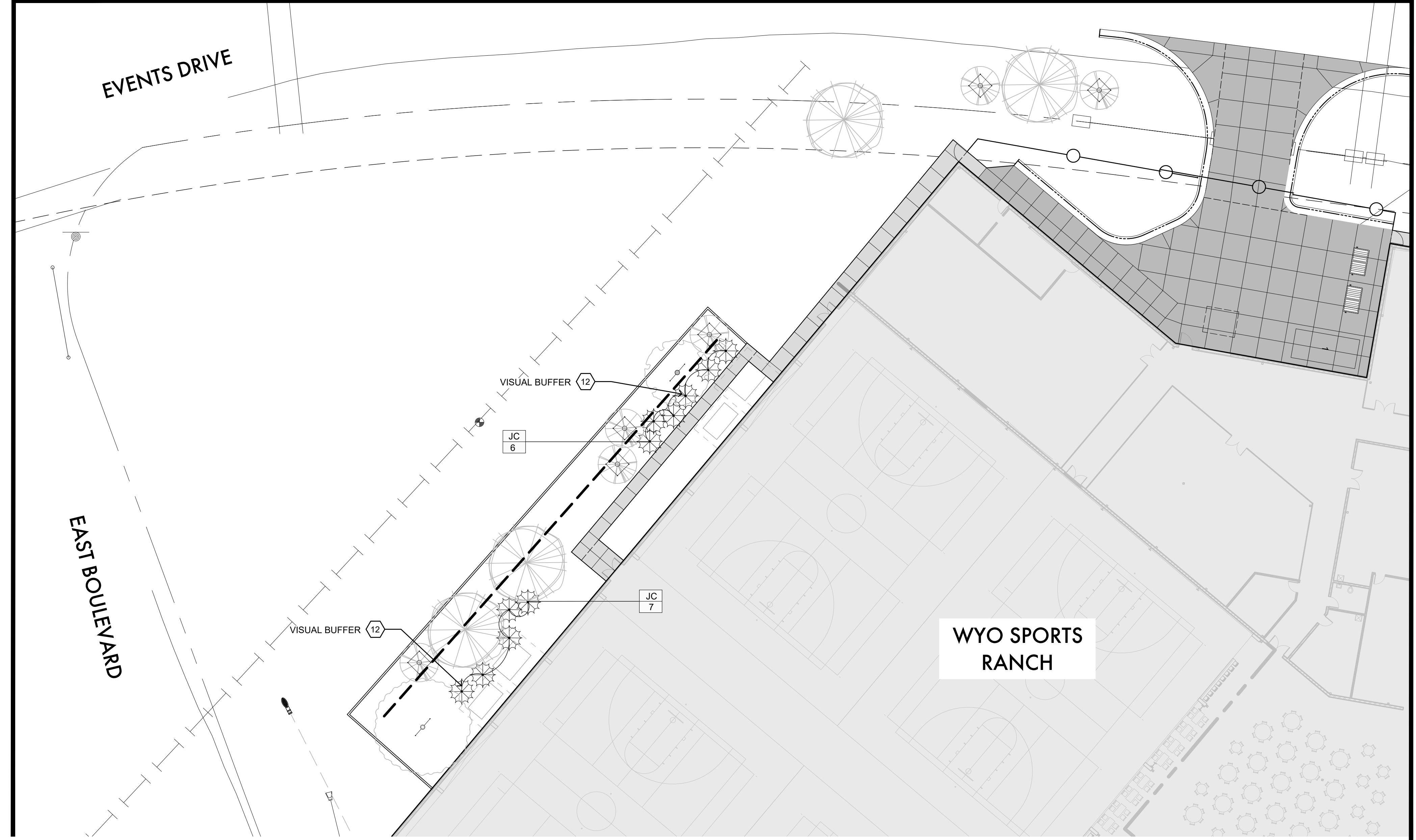
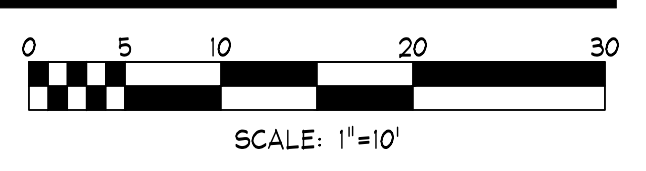
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TREE PLANTING
PLAN- WEST

SHEET NUMBER

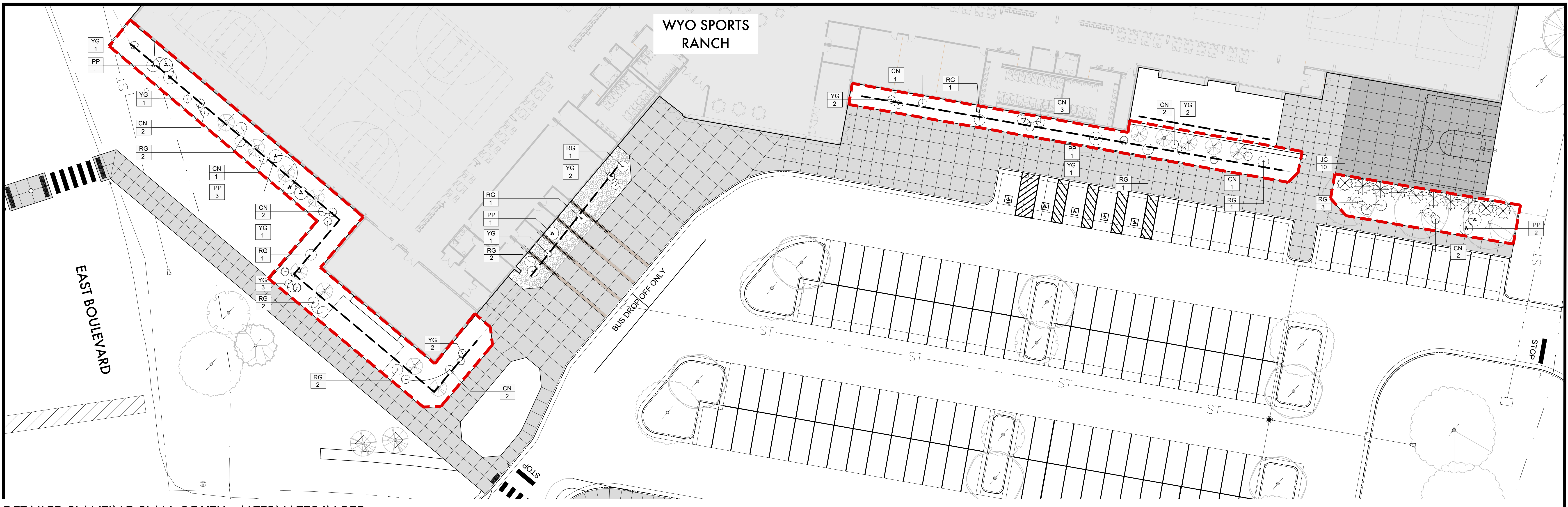
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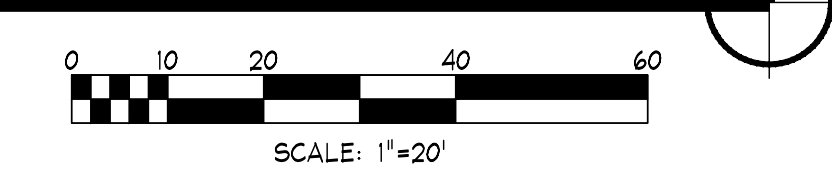
DETAILED PLANTING PLAN: ENTRY PLAZA



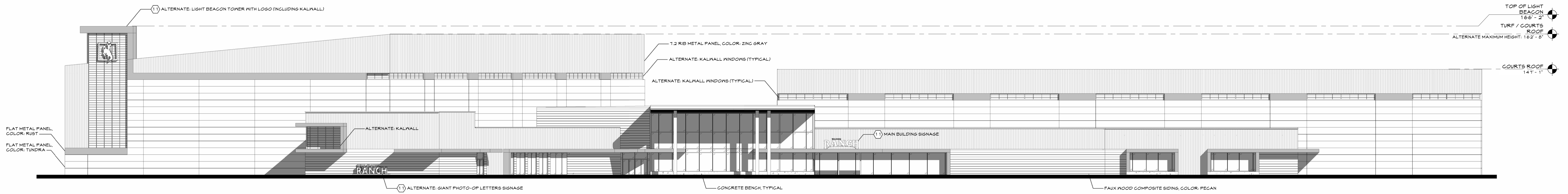
DETAILED PLANTING PLAN: NORTHWEST



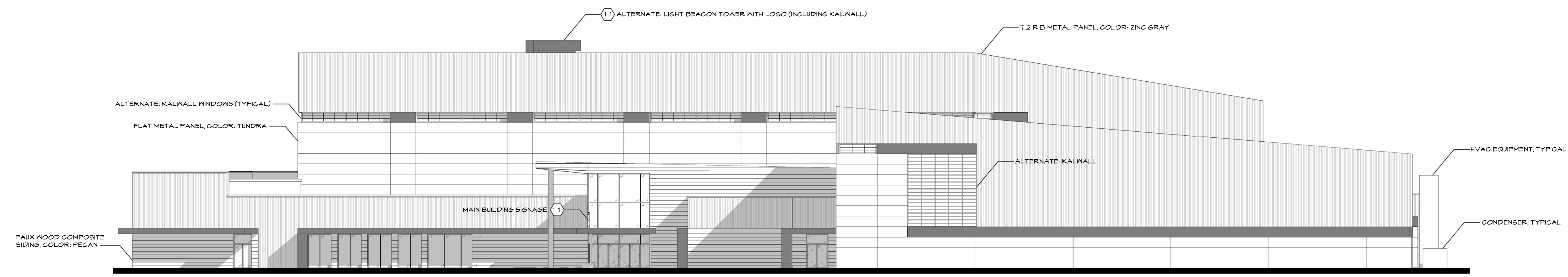
DETAILED PLANTING PLAN: SOUTH, ALTERNATES IN RED



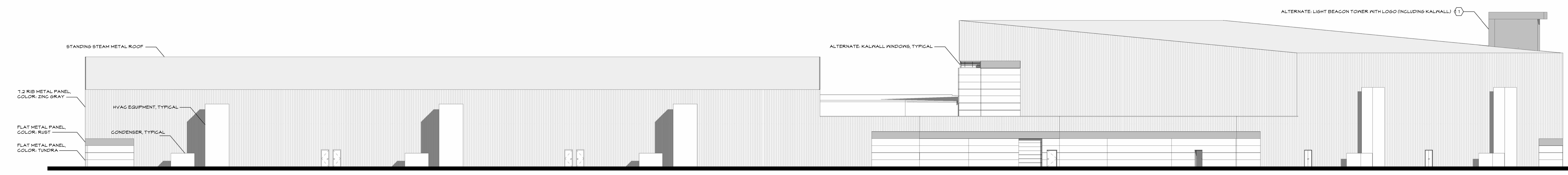
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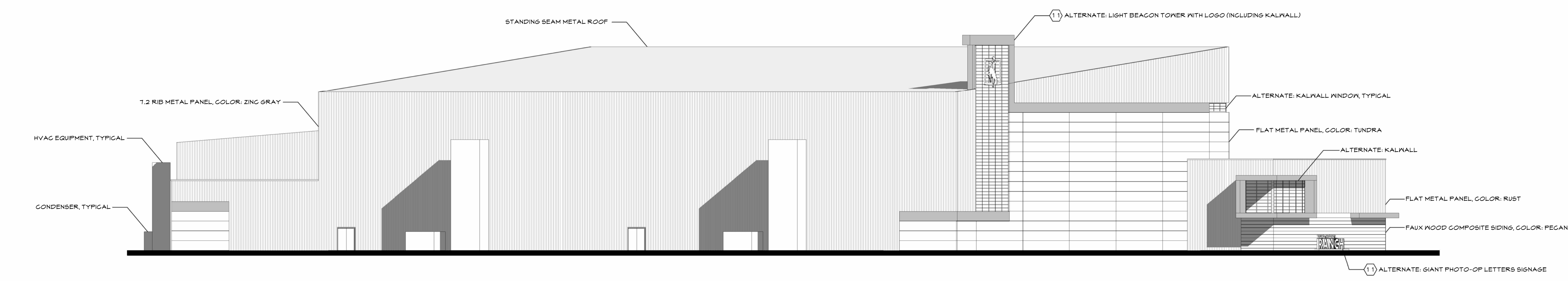
28 OVERALL SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



28 OVERALL EAST ELEVATION
SCALE: 1/16" = 1'-0"



28 OVERALL NORTH ELEVATION
SCALE: 1/16" = 1'-0"



28 OVERALL WEST ELEVATION
SCALE: 1/16" = 1'-0"

WYO SPORTS COMPLEX
T.B.D.
CASPER, WYOMING 82601



PROJECT NUMBER
21-007

DATE
02-01-23

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K. LARSEN

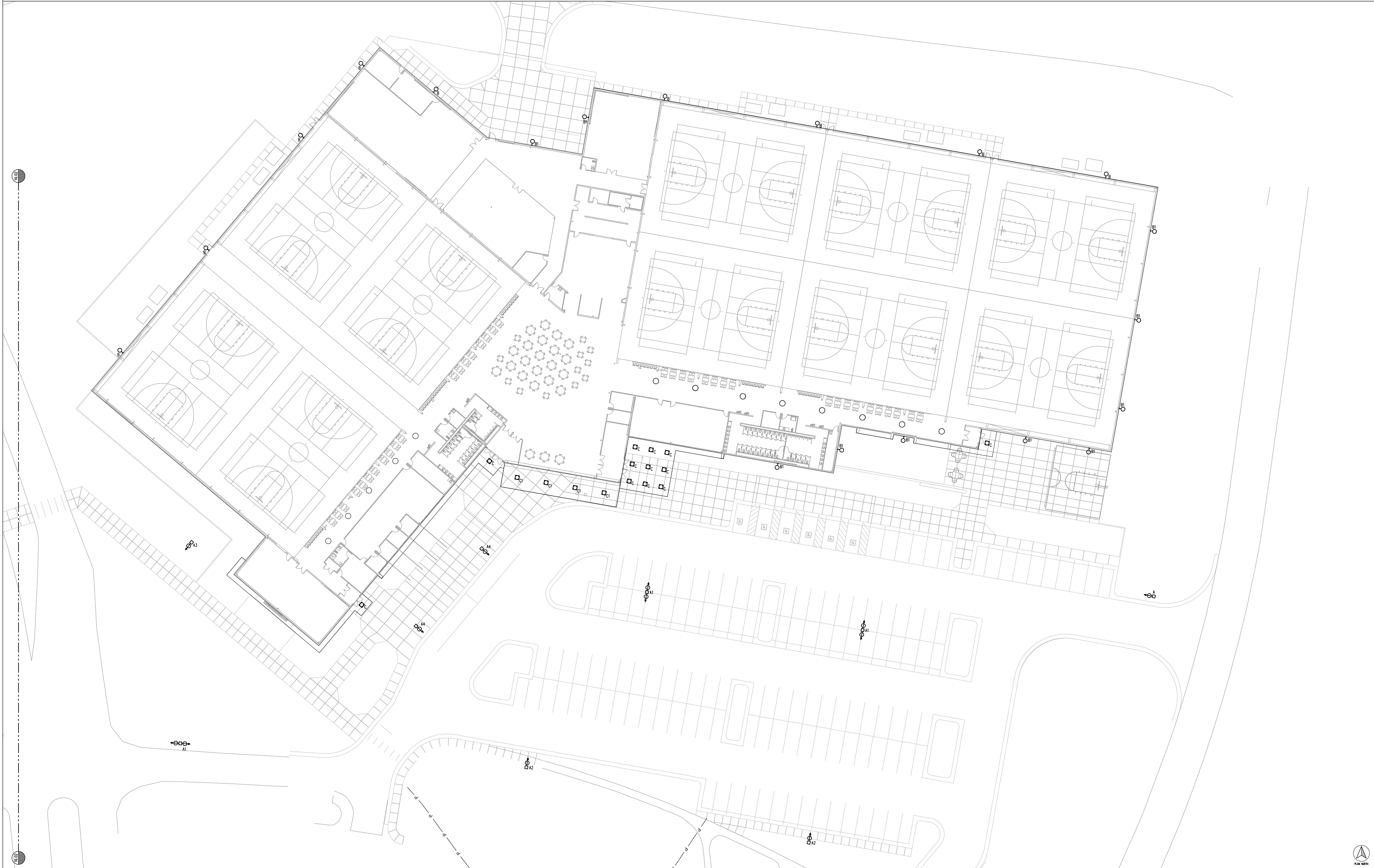
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OVERALL BUILDING ELEVATIONS

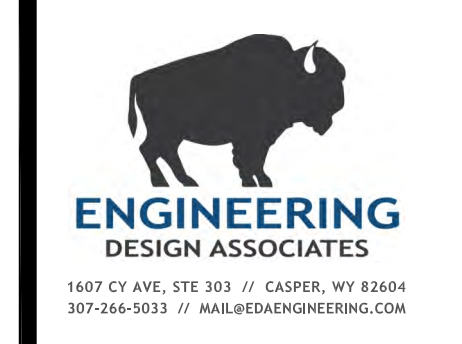
SHEET NUMBER

5.10

13 - LIGHTING FIXTURE SCHEDULE										
TYPE	LAMPS	DESCRIPTION	WATTAGE	TEMP	LUMENS	LIFE	FINISH	MOUNTING	MANUFACTURER	CATALOG NO.
A	LED	AREA SITE LIGHT, 30'-0" POLE, TYPE 4 WIDE DISTRIBUTION, WET LOCATION, VIBRATION DAMPER	160	4000K	20,000	L70=60,000	BLACK	POLE MOUNT, 30'-0" POLE, SEE POLE MOUNT DETAIL 3/16.01	KIM LIGHTING	ALT2-100L-160-4K7-4W-UNV-ASO-BLT / KSS30-5180-SA-BLT-VD
A1	LED	(2) AREA SITE LIGHT, 30'-0" POLE, TYPE 4 WIDE DISTRIBUTION, WET LOCATION, VIBRATION DAMPER	320	4000K	40,000	L70=60,000	BLACK	POLE MOUNT, 30'-0" POLE, SEE POLE MOUNT DETAIL 3/16.01	KIM LIGHTING	(2) ALT2-100L-160-4K7-4W-UNV-ASO-BLT / KSS30-5180-SA-BLT-VD
A2	LED	AREA SITE LIGHT, 30'-0" POLE, TYPE 3 DISTRIBUTION, WET LOCATION, VIBRATION DAMPER	160	4000K	20,000	L70=60,000	BLACK	POLE MOUNT, 30'-0" POLE, SEE POLE MOUNT DETAIL 3/16.01	KIM LIGHTING	ALT2-100L-160-4K7-3-UNV-ASO-BLT / KSS30-5180-SA-BLT-VD
A3	LED	PEDESTRIAN AREA SITE LIGHT, 12'-0" POLE, TYPE 5 RECTANGULAR DISTRIBUTION, WET LOCATION, VIBRATION DAMPER	60	4000K	7,500	L70=60,000	BLACK	POLE MOUNT, 12'-0" POLE, SEE POLE MOUNT DETAIL 2/16.01	KIM LIGHTING	ALT1-28L-60-4K7-5R-UNV-ASO-BLT / KSS12-4120-SA-BLT-VD
A4	LED	PEDESTRIAN AREA SITE LIGHT, 12'-0" POLE, TYPE 5 RECTANGULAR DISTRIBUTION, WET LOCATION, VIBRATION DAMPER	40	4000K	5,000	L70=60,000	BLACK	POLE MOUNT, 12'-0" POLE, SEE POLE MOUNT DETAIL 2/16.01	KIM LIGHTING	ALT1-28L-40-4K7-5R-UNV-ASO-BLT / KSS12-4120-SA-BLT-VD
B	LED	WALL PACK, ALUM. HOUSING, WET LOCATION	30	4000K	3,747	L70=60,000	BLACK	WALL SURFACE, +15'-0" AFF	BEACON	TRP2-24L-30-4K7-3-UNV-BLT
B1	LED	WALL PACK, ALUM. HOUSING, WET LOCATION	30	4000K	3,647	L70=60,000	BLACK	WALL SURFACE, +15'-0" AFF	BEACON	TRP2-24L-30-4K7-4-UNV-BLT
C	LED	6" SQUARE LED RECESSED DOWNLIGHT, 0-10V DIMMABLE, 69° BEAM, WET LOCATION (COVERED CEILING)	8	4000K	1,500	L90=55,000	WHITE	RECESSED CEILING	PRESCOLITE	LTR-650D-H-SL15L-DM1-LTR-650D-T-SL40K8W-SWT
C1	LED	6" SQUARE LED RECESSED DOWNLIGHT, 0-10V DIMMABLE, 36° BEAM, WET LOCATION (COVERED CEILING)	8	4000K	9,000	L90=55,000	WHITE	RECESSED CEILING	PRESCOLITE	LTR-650D-H-XL90L-DM1-LTR-650D-T-SL40K8R-SWT



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ENGINEERING DESIGN ASSOCIATES

1000 W. 10th St. Casper, WY 82401
307.551.1111 | www.edsaeng.com

WYO SPORTS RANCH
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1000 W. 10th St. Casper, WY 82401
307.551.1111 | www.stateline7.com

PROJECT NUMBER
21-007 / 22112

DATE
FEB. 3, 2023

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MNS

DISK ID.

SHEET TITLE
ELECTRICAL SITE PLAN

SHEET NUMBER

16.01

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1425 CY ANE, STE 300 - CASPER, WY 82401
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DATE
FEB. 3, 2023

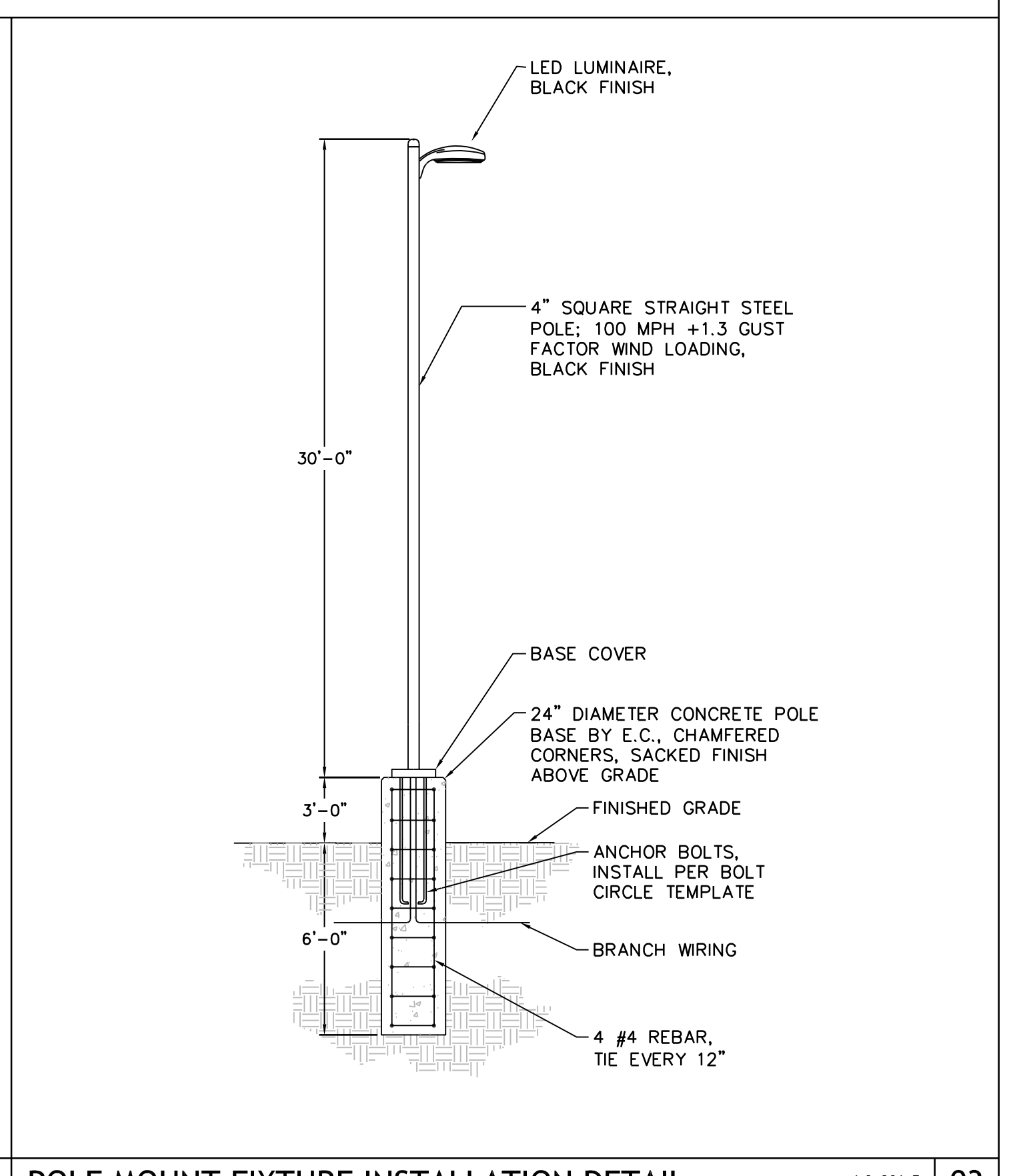
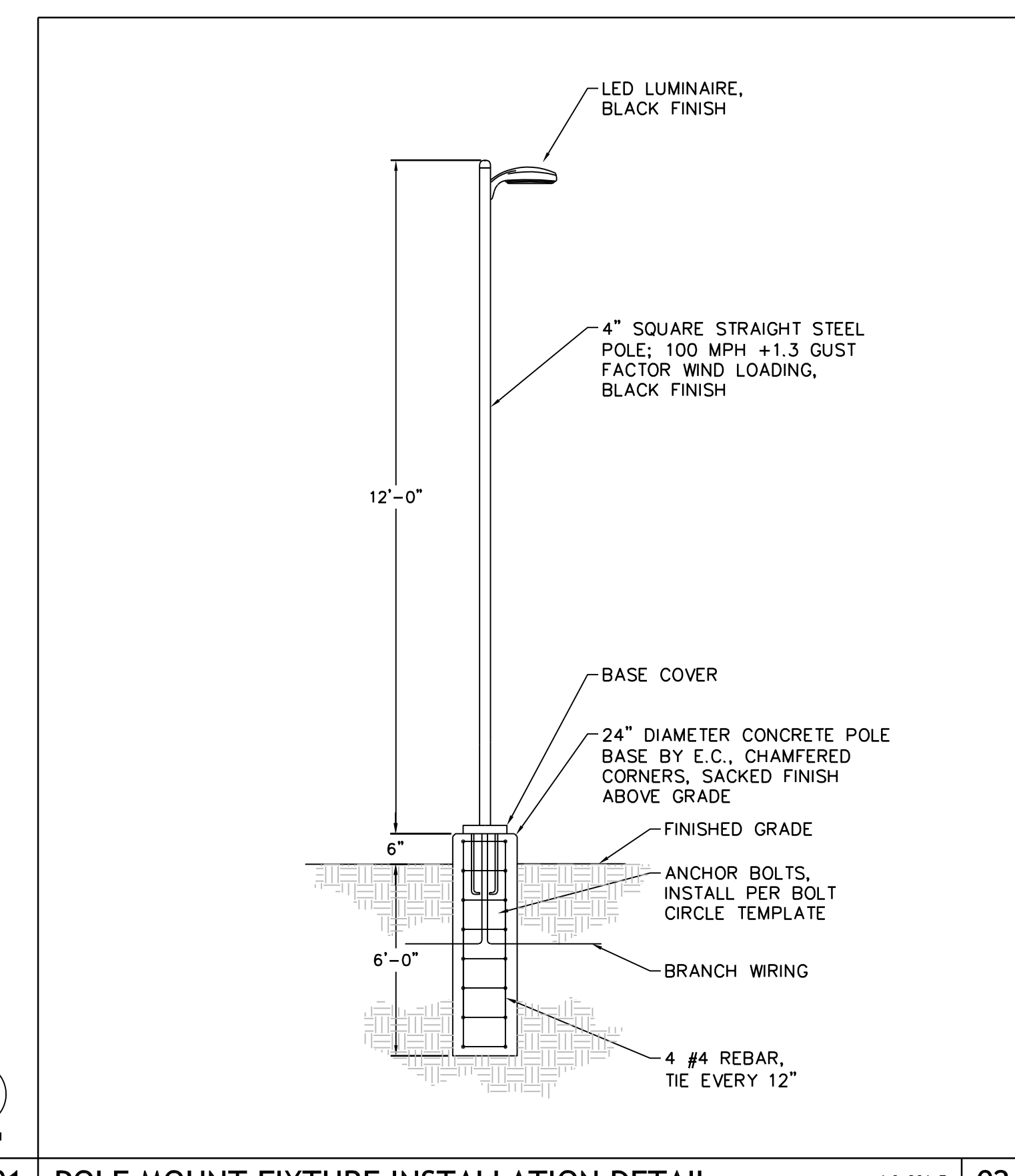
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SHEET NUMBER

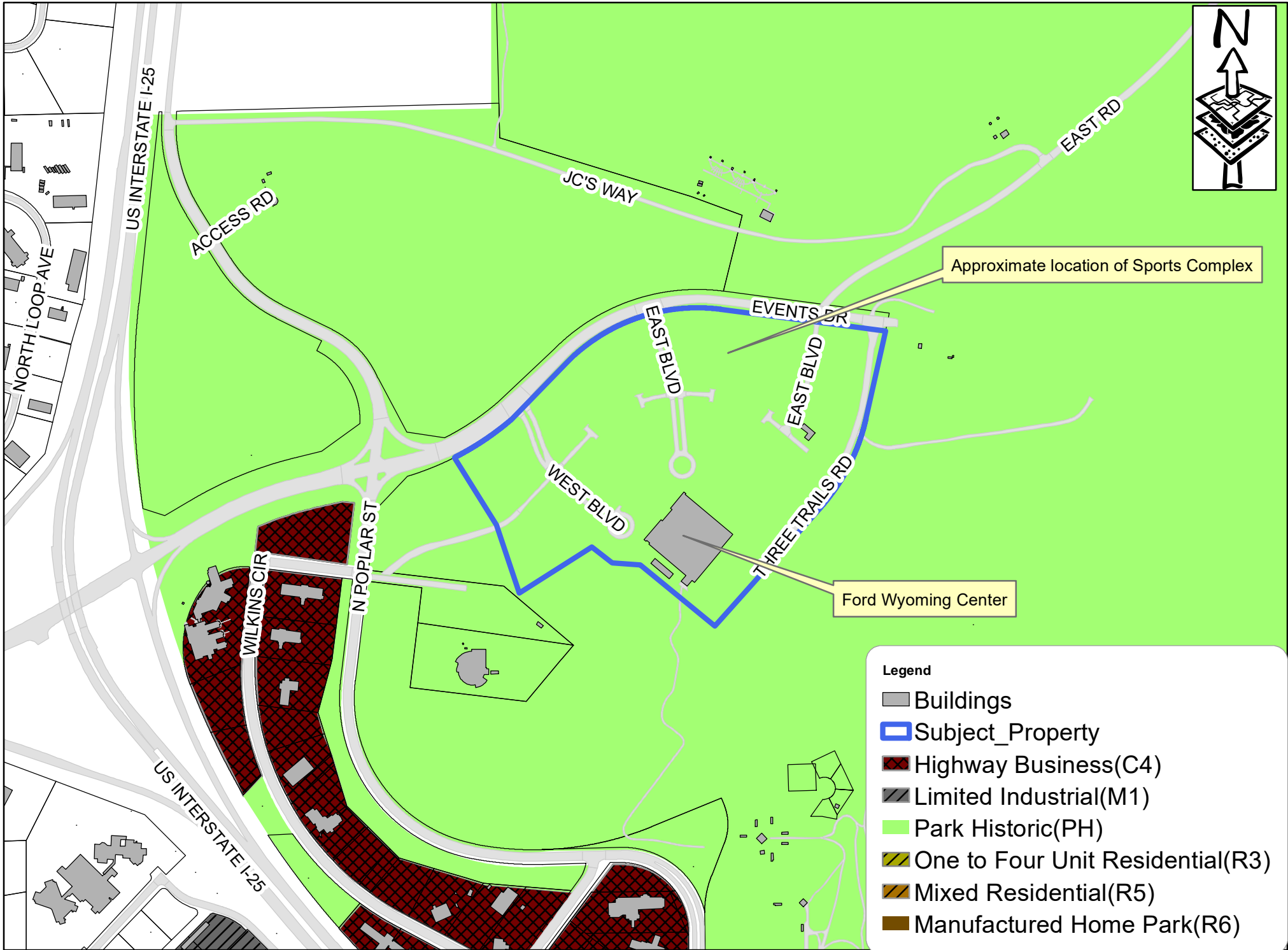
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Proposed Wyoming Sports Complex



Proposed Wyoming Sports Complex



CASPER HISTORIC PRESERVATION COMMISSION
MINUTES OF THE REGULAR MEETING
December 12, 2022

In attendance: Jeff Bond, Robin Broumley, Carolyn Buff, Connie Hall, Anthony Jacobsen, Bob King, John Lang, Maureen Lee

Absent: Paul Yurkiewicz

Staff: Liz Becher, Community Development Director
Craig Collins, City Planning Department
Barb Santmire, Administrative Assistant III

Guests: None

Jeff Bond called the meeting to order at 8:35 a.m.

Approval of Minutes

Mr. Bond asked if everyone had read the minutes of the November 14, 2022, meeting and asked if there were any corrections. Carolyn Buff noted there was a grammatical error on page 2 under Old Business.

Minutes from November 14, 2022, were approved unanimously, as amended.

New Business

There was discussion of the following items:

1. Review applications for two (2) open and four (4) expiring Commission positions
 - a. Six (6) applications were received and included in the meeting packet for Commissioner review.
 - b. Motion was made to forward all applicants to Council with the recommendation to appoint. The motion was carried with 7 ayes and 1 abstention.
2. Parameters to create annual Ellis Award
 - a. When broached about the opportunity, Mrs. Ellis seemed hesitant about the idea. Other opportunities for recognition presented during discussion included naming a park bench or placing a plaque in a prominent location relevant to Pinky's contributions to the city.
 - b. It was decided to table the idea for now, but to be sure to revisit it in time to have something ready for May's Historic Preservation Month.
3. Bob King's Presentation
 - a. Bob presented a slide show based on the Sanborn Maps. The presentation covered the development of Casper from 1888 to 1922, including the location of relevant buildings and how street names were added/changed throughout the included years.

- b. Suggestion was made to include a link to the Sanborn Maps (to be provided by Bob) on the HPC page of the city's website.
4. SHPO/CLG Annual Report – with no changes noted to the Annual Report, it will be sent to Council for the Mayor's signature and then submitted.
5. City Planner Craig Collins provided graphs (collected by Google Analytics) that showed the web traffic to the HPC page on the city's website. The Commission had inquired as to if there was an increase after the Christmas parade and the hand out of the QR code cards.

Old Business

OYD Committee Update – John reported that the OYD Advisory Committee met with Jeffree Star and his team who purchased the old Hall on Ash. John stated it was a productive meeting and that the building is going to be repurposed as a retail space for Jeffree's cosmetic line and his yak meat business.

P&Z Commission – City Planner Craig Collins reported that a rezoning request for 3 vacant lots located on S. Washington St. was approved by the Planning and Zoning Commission and is being forward to Council for review/approval.

Christmas Parade Float – Connie reviewed HPC's participation in the Christmas Parade noting the opportunity it provided to hand out about 150-200 of the new QR code business cards. The suggestion was made to place the cards at Fort Caspar and the visitor's center. The remainder of the cards will be held by the City Planner.

Demolition Permits – The Commission reviewed the following requests for demolitions that have been received since the last meeting:

- 1828 S Poplar

Historic Preservation Month Planning for May 2023

1. Sherrie's 100th Anniversary – Robin has reached out to Historic Alliance and is waiting to hear back from them with input. Connie will reach out to Sherrie to get her thoughts on how to celebrate.
2. The Ellis Award, or other recognition of Pinky Ellis, is on hold (see New Business #2).

Results from Council's Review of Wind Turbine Art Installation – City Planner Craig Collins reported that it appears the project is on hold indefinitely as there is ongoing discussion on the best place for it to be located. Council agreed that Fort Caspar is not the appropriate location.

Sub-Committee reports:

- Social Media/Outreach/Education – Maureen reported her most recent review showed 395 likes and 417 followers of the HPC Facebook page. She stated she has been updating the page with relevant articles as she comes across them.
- Field Visits/Tours – members suggested ideas for future field visits/tours

including the following:

- McGinley Orthopedic Clinic (the “onion” building)
- National Historic Trails Center
- Western History Center at Casper College
- 410 S Ash (previously Urban Bottle, purchased by owner of Occasions by Cory)
- Old Yellowstone Garage

Other Business

1. City of Casper/Natrona County has received designation as an American World War II Heritage City by the National Park Service. Per their notice, “[t]he American World War II Heritage Cities Program (AWWIICH) honors the contributions of local towns, cities, counties and commemorates the stories of the men, women, and children whose bravery and sacrifices shaped the U.S. home front during World War II, and still impact our country today. Only one American World War II Heritage City can be designated in each state or territory.” A link to the AWWIICH site will be added to the HPC page on the city’s website.
2. Jeff mentioned that he has been in contact with the Cheyenne Historic Preservation Board regarding their sale of historic building-based Christmas ornaments. He was told that the ornaments cost about \$10-\$12 each to make and they are sold for \$20 - \$25 each. The Cheyenne HPB has sold them for the last four years and nets about \$5,000 per year. The contact offered to share additional information/resources if Casper HPC decides to move forward with a similar program. It was suggested that magnets might be another option to raise money which could then be used to fund projects such as historic designation plaques. It was requested that each member come to the next meeting with a list of their top suggestions for locations to be used.
3. Bob reported that he had provided a copy of the most recently updated list of liaison contacts to Staff, which was then emailed out to all members.

The next meeting will be January 9th. It was suggested that the meeting take place at the Western History Center at Casper College. Jeff will reach out to schedule and let Staff know when he has confirmed the availability of the date/time with the venue.

Meeting adjourned at 10:00 a.m.

Respectfully submitted,

Liz Becher
Community Development Director

CASPER HISTORIC PRESERVATION COMMISSION
MINUTES OF THE REGULAR MEETING
February 13, 2023

In attendance: Jeff Bond, Robin Broumley, Carolyn Buff, Tammie Chappell, Connie Hall, Randy Hein, Bob King, John Lang, Maureen Lee

Absent: Anthony Jacobsen, Paul Yurkiewicz

Staff: Craig Collins, City Planning Department
Barb Santmire, Administrative Assistant III

Guests: Katelynn Larsen

Jeff Bond called the meeting to order at 8:35 a.m.

Election of Officers

Jeff called for nominations for Commission Chair to serve for 2023. Connie Hall was nominated by John Lang and seconded by Maureen Lee. *The nomination of Ms. Hall for Chairperson of the Commission for 2023 was approved unanimously.*

Jeff called for nominations for Commission Vice-Chair to serve for 2023. Maureen Lee was nominated, but declined. Ms. Lee suggested the vote for a Vice-Chair be tabled until Mr. Yurkiewicz could be present as she felt he would be the best person to serve. *All present agreed to wait until Mr. Yurkiewicz is present to be nominated.*

Approval of Minutes

Jeff asked if everyone had read the minutes of the December 12, 2022, meeting and asked if there were any corrections. *Minutes from December 12, 2022, were approved unanimously.*

Introduction of New Memebers / Guests Present

All present introduced themselves and noted their interest in serving on the Historic Preservation Commission. Katelynn Larsen, Stateline No 7, was a guest stating she was interested in learning what the Commission does with an interest of serving in the future.

Staff was requested to order shirts and name tags for the new members.

New Business

City Planner Craig Collins showed Commissioners the new links added to the Historic Preservation Commission section of the City of Casper website. Links were added for Casper's designation as an American World War II Heritage Community and to the National Archives Sanborn Map Collection for Casper.

There was a question as to if the National Park Service will provide a sign/plaque in recognition of the American WWII designation? Mr. Collins stated he would check to see if anything will be provided or if NPS only provides artwork for the recipient to use to create their own sign/plaque. The Commission is interested in obtaining multiple signs for placement in several locations.

Tammi stated she was going to be taking a private tour of the old Casper Army Air Base Hospital and asked if anyone else on the Commission would be interested in touring. The entire Commission expressed an interested and asked that Tammi let everyone know as soon as she had a date/time.

Old Business

OYD Committee Update – John reported that the OYD Advisory Committee met at The Drinkery (formerly Urban Bottle) in January. Introductions were made as there were several new committee members. It was stated that the holiday events (support of the David Street Station events, Rudolphing, and the Caroling Pub Crawl) were all well attended and well received.

P&Z Commission – City Planner Craig Collins reported there would be five cases for review/approval being presented at the next Planning and Zoning meeting scheduled for March 9th.

Demolition Permits – There was no report.

Christmas Ornaments / May Magnets – It was decided by the Commission to pursue the Christmas Ornament option and table the magnets for now, but interest was expressed in trying to have the Ornaments available for sale as early as May to offer during Historic Preservation Month events. It was further suggested that the ornaments be numbered, limited edition to increase collectability.

Jeff is continuing to gather information and hopes to have information on the cost and how long they take to manufacture for the next meeting. Robin provided a list of possible subjects for the 1st ornament. Jeff motioned that NCHS be chosen. Connie 2nd and the motion passed unanimously.

Questions remain as to how the initial order will be financed. The CHPC will be responsible for selling (Etsy was one recommendation) and can then “donate” the funds to the City to be held in a separate project account. Once the details are ascertained and the ornaments are produced/ready to sell, it was asked if a notice could go out in the City water bills to advertise. It was also suggested an article be placed in the Oil City News and the information be placed on the HPC City website and Facebook pages.

Historic Preservation Month Planning for May 2023

1. Sherrie’s 100th Anniversary – Robin has spoken to a contact at the Historic Alliance and they are definitely interested in being a part of Sherrie’s 100th Anniversary celebration.
2. The Ellis Award, or other recognition of Pinky Ellis, remains on hold and will

remain on the agenda as a place holder pending an appropriate time to look at options to move forward.

Sub-Committee reports:

- Social Media/Outreach/Education – Maureen reported she continues to add relevant articles to the Facebook page as she comes across them. She will work with Paul on getting the WWII designation added as well, possibly incorporating the logo provided in the award email.
- Field Visits/Tours – it was suggested that the March HPC meeting be held at the Trail Center. Robin will reach out to them to see if we can get it scheduled. They do not open until 9:00 so the meeting would be held a little later than usual.

Other Business

1. Carolyn shared the latest publication from the Natrona County Historic Preservation Commission. They work with a ????? to produce a periodic publication. This one was focused on Open Range. (see book to finish this note).

The next meeting will be January 9th. It was suggested that the meeting take place at the Western History Center at Casper College. Jeff will reach out to schedule and let Staff know when he has confirmed the availability of the date/time with the venue.

Meeting adjourned at 10:00 a.m.

Respectfully submitted,

Liz Becher
Community Development Director

OLD YELLOWSTONE DISTRICT ADVISORY COMMITTEE MEETING
Monday, January 23, 2023 at The Drinkery, 410 S Ash (formerly Urban Bottle)

The OYD held its monthly meeting at 4:00 p.m. on Monday, January 23, 2023.

Members Present: Kyle Gamroth, Joe Hutchison, Michael Hirschbine, Kelly Ivanoff, Pete Maxwell, Karen Meyer, Phillip Rael, Gena Jensen, Mike McIntosh

Members Absent: Jamie Haigler, Carol Martin, Maribeth Plocek

Liaisons Present: Renee Hahn (ARAJPB), Connie Hall and John Lang (CHPC)

Guests Present: Cory Poulos, owner of Occasions by Cory and The Drinkery

Staff Present: Liz Becher, Barb Santmire

CALL TO ORDER:

Vice Chair McIntosh welcomed everyone and called the meeting to order at 4:00 p.m.

APPROVAL OF THE NOVEMBER 28, 2022 MINUTES:

Vice Chair McIntosh asked for approval of the November 28, 2022 meeting minutes. Note: There was no meeting held in December. Ms. Meyer moved to approve the minutes. Mr. Hutchison seconded. All members voted aye; minutes were approved.

INTRODUCTION OF GUESTS/PUBLIC COMMENTS:

Vice Chair McIntosh asked for the members to introduce themselves, including their business/organization affiliation. Introductions included new members Michael Hirschbine of Star Yak Ranch, Pete Maxwell of The Gaslight Social, and new City of Casper Councilor Gena Jensen.

Barb Santmire, staff with Community Development, distributed a member directory for the 2023 OYD Advisory Committee and asked that everyone confirm, correct, or complete their contact information.

OLD BUSINESS:

“Rudolphing” and the Caroling & Pub Crawl:

Ms. Becher passed around pictures from the holiday “Rudolphing” and Caroling & Pub Crawl. She expressed how pleased she was with Committee participation and thanked everyone who attended the events and those who provided donations. Liz also commented on the outstanding level of support the Committee provided to the DDA events.

Historic Preservation Plaque project/grant application

A work session has been scheduled for Committee members Karen Meyer, Jamie Haigler, Connie Hall and John Lang for Monday, February 6th from 3:30 – 5:00 at Renee Hahn’s office on the Platte River Commons, former refinery building. There are two grant application deadlines: 4/1/2023 and 10/1/2023.

Ms. Becher explained the concept is to have plaques on stands at 6 different locations in the OYD that would help document the history of the area and serve as points in a “scavenger hunt” to promote community/visitor engagement. Mr. Maxwell suggested adding a QR code with links to additional information/old photos of each location.

Committee Goals

Ms. Becher handed out a copy of the OYD 2022-2023 Neighborhood Goals. She reviewed the list of goals for new members and updated the Committee on the status of each item. A few members of the subcommittees will need to be updated to reflect changes that have occurred in the OYD Advisory Committee.

NEW BUSINESS:

Election of Officers (Chair/Vice-Chair)

Nominations were made to appoint City of Casper Councilor Kyle Gamroth as the Committee Chair and Planning & Zoning Commissioner Joe Hutchison as the Vice Chair for 2023. All members voted aye; nominations were approved.

Other Property Activity

The following activities were reported:

- Wallick and Volk will be moving
- There are plans for the Sage & Sand (that are not yet public)
- The Office is being sold, Karen and Jim Kanelos are retiring
- Efforts are commencing on the 1st Street Gateway project (although this is not part of the OYD, it is adjacent to it and revitalization of this area will be a good thing for the OYD)
- The 3rd phase of the Midwest Avenue project (the section between Walnut and Poplar) is getting ready to move forward and meetings will be held with property owners this week to review plans and address concerns.

OTHER BUSINESS:

Historic Preservation Liaison Report

Mr. Lang mentioned that at the last Historic Preservation meeting Commissioner Bob King gave a presentation on the historic Sanborn Maps. Ms. Hall and Mr. Lang shared their research of Casper Ghost Signs at the Fort Caspar Association annual meeting held on Saturday, January 21.

ARAJPB Liaison Report

Ms. Hahn reported that Three Crowns has a plan for upgrades, but she will know more at the next meeting.

NEXT MEETING:

The next meeting will be Monday, February 27th from 4:00 – 5:00 at a location TBD.

ADJOURN:

Mr. Poulos was thanked for hosting the meeting. A motion was made to adjourn. The business meeting adjourned at 5:30 p.m.

(Minutes prepared by Barb Santmire)

Respectfully Submitted,

Kyle Gamroth
Chairperson